

# APPLICATION TO BOARD OF APPEALS

Tel. No \_\_\_\_\_

Appeal No. 2016-053

Date 6/6/2016

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) Jennifer Marie and Emilio Manceno of 147 Hillview Terrace

\_\_\_\_\_, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE  
DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. \_\_\_\_\_,  
DATED \_\_\_\_\_, 20\_\_\_\_, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> A PERMIT FOR USE             | <input type="checkbox"/> A CERTIFICATE OF EXISTING USE      |
| <input type="checkbox"/> A PERMIT FOR OCCUPANCY                  | <input type="checkbox"/> A CERTIFICATE OF ZONING COMPLIANCE |
| <input type="checkbox"/> A TEMPORARY PERMIT OR EXTENSION THEREOF | <input type="checkbox"/> AREA PERMIT                        |

1. Applicant is the  PROPERTY OWNER  
 CONTRACTOR FOR THE WORK CONCERNED HEREIN  
 PROSPECTIVE TENANT  
 OTHER (Describe) \_\_\_\_\_

2. LOCATION OF THE PROPERTY 147 Hillview Terrace

3. State in general the exact nature of the permission required, Requesting 6' fence on corner lot

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_.

## 5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: \_\_\_\_\_

to put up a vinyl fence to enclose our back yard so our dogs may run in the yard without a leash and for privacy

B. Interpretation of the Zoning Ordinance is requested because: R district fences not to exceed 4' in front and side yard

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article \_\_\_\_\_, Section 120, Subsection 39, Paragraph B of the Zoning Ordinance, because: \_\_\_\_\_

gmanceno  
Signature

## TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance

TOWS Zoning Ordinance 120-39B Requesting 6' fence in side yard, 4' permitted

2. Zoning Classification of the property concerned in this appeal R-65

3. Type of Appeal:

- Variance to the Zoning Ordinance.  
 Interpretation of the Zoning Ordinance or Zoning Map  
 Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

4. A statement of any other facts or data which should be considered in this appeal. [Signature]

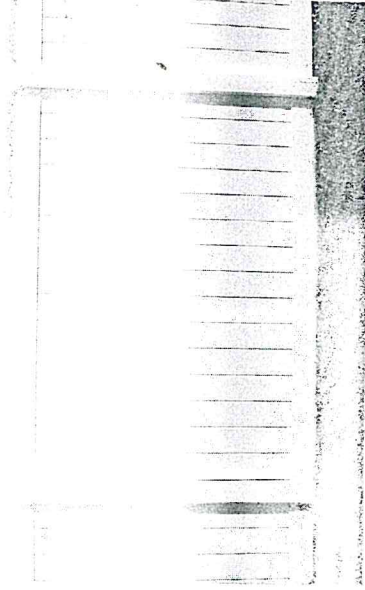
To Whom It May Concern:

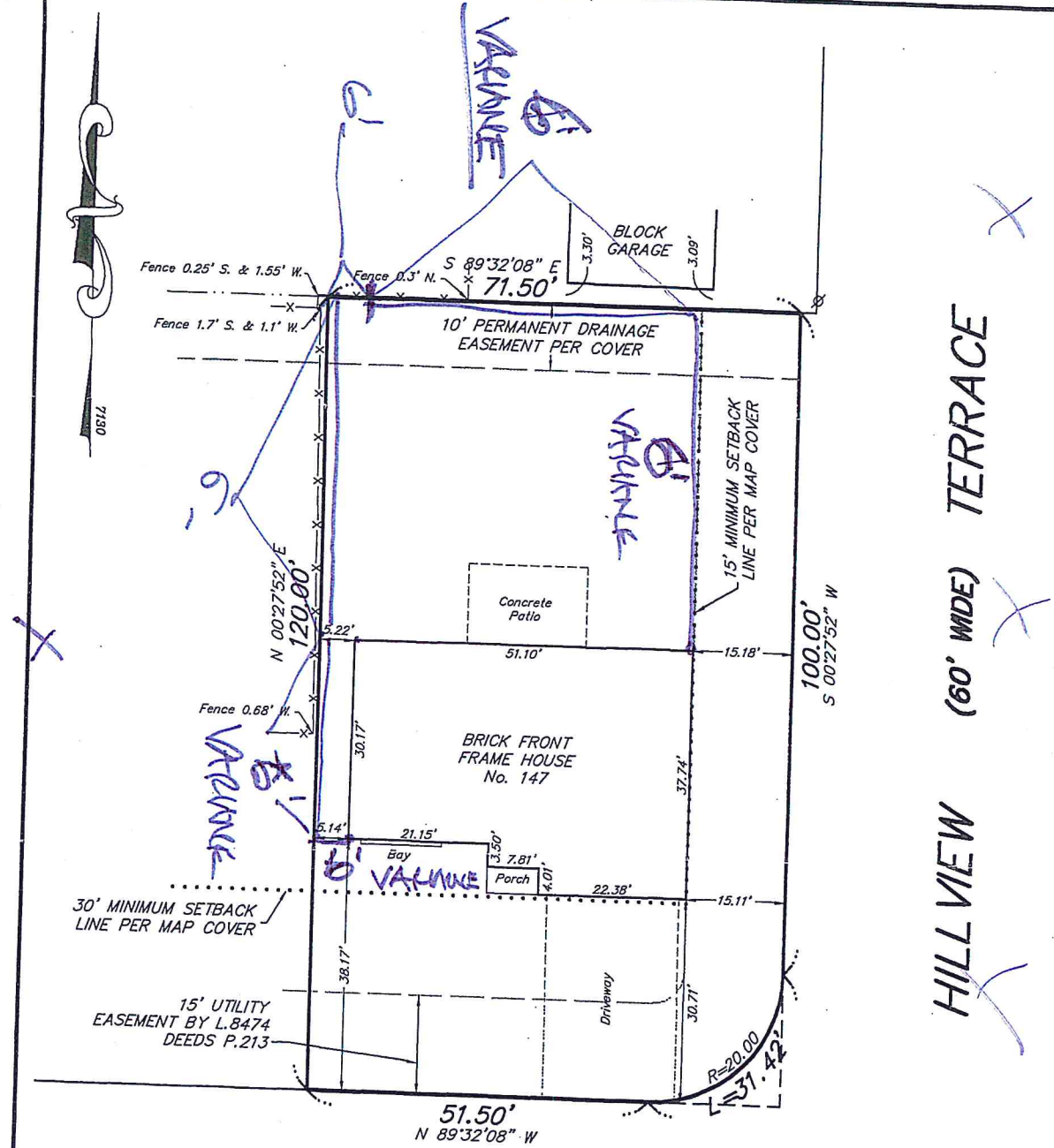
I am writing this letter as a request for a variance to construct a fence around the perimeter of our backyard. We live at 147 Hillview Terrace, which is a corner lot. We would like to put up a 6ft fence not only for privacy reasons, but to permit our dogs to exercise freely in the yard. Attached you will find all of the required documents and below is a picture of the fencing material we would like to use. Do not hesitate to contact us if you have any **questions or concerns**.

Kind regards,

*Jennifer-Marie Mancino*

Jennifer-Marie Mancino





# HILL VIEW (60' WIDE) TERRACE

PREMISES SUBJECT TO AN EASEMENT TO:  
 NEW YORK STATE ELEC. & GAS CORP. AND  
 NEW YORK TELEPHONE CORP. BY L.5189 P.5+6,  
 LOCATION NOT SPECIFIED

Found Railroad Spike @ Center Line Intersection

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: L.8605 P.199  
 THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.  
 NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE  
 CURRENT STANDARDS FOR LAND SURVEYING ADOPTED BY THE  
 BAR ASSOCIATION OF ERIE COUNTY AT THE REQUEST OF  
 Edward Pace Esq.

*Francis C. Delles*  
 FRANCIS C. DELLES NYSPLS No. 050477

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**Millard, MacKay & Delles**  
 LAND SURVEYORS, LLP  
 150 AERO DRIVE  
 BUFFALO, NEW YORK 14225  
 PHONE (716) 631-5140 ~ FAX 631-3811

AMEND:  
 SURVEY DATE: 5-12-08  
 DRAWING DATE: 5-13-08  
 SCALE: 1" = 20'  
 "ALL RIGHTS RESERVED"

SUB LOT 25 ~ COVER 2377  
 PART OF LOT 138 SECTION \_\_\_\_\_ TOWNSHIP \_\_\_\_\_ RANGE \_\_\_\_\_ OF THE:  
 Ebenezer Lands SURVEY - Erie COUNTY, N.Y.  
 SURVEY OF: 147 Hillview Terrace, Town of West Seneca

THIS MAP VOID UNLESS  
 EMBOSSED  
 WITH NEW YORK STATE LICENSED LAND  
 SURVEYOR'S SEAL. ALTERING ANY ITEM  
 ON THIS MAP IS A VIOLATION OF THE  
 LAW EXCEPT AS PROVIDED IN SECTION  
 7209, PART 2, OF THE NEW YORK  
 STATE EDUCATION LAW.  
 SBL No. 134.19-10-71

Dear Neighbor,

I am writing to inform you we will be installing/constructing

A 6' FENCE ALONG HILLVIEW TERRACE ↓ ON SIDE YARD  
SEE ASTUTE INFO

If you do not have any objections to the additions to our property as described above and shown in the attached plans, please print and sign your name below and include your address.

Meeting Date: JUNE 22 7:00PM

Name	Signature	Address
<u>Wayne DeGeorge</u>	<u>Wayne DeGeorge</u>	<u>141 Hillview Terr.</u>
<u>[Signature]</u>	<u>[Signature]</u>	<u>3 Hillview Terr.</u>
<u>JAN BAYDALSKA</u>	<u>J. Baydalska</u>	<u>9 Hillview Terr.</u>
<u>BERNADINE BALYS</u>	<u>Bernadina Balyz</u>	<u>15 Hillview Terr.</u>
<u>Kevin Balyz</u>	<u>Kevin Balyz</u>	<u>24 Hillview Terrace</u>

Sincerely,