

APPLICATION TO BOARD OF APPEALS

Tel. No. _____

Appeal No. 2016-075

Date AUG 23 2016

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) Joseph Kandefer of Kandey Co. Inc.
15 Bansier Dr., HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE
DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. _____,
DATED _____, 20____, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- A PERMIT FOR USE
 - A PERMIT FOR OCCUPANCY
 - A TEMPORARY PERMIT OR EXTENSION THEREOF
 - A CERTIFICATE OF EXISTING USE
 - A CERTIFICATE OF ZONING COMPLIANCE
 - AREA PERMIT
1. Applicant is the PROPERTY OWNER
 CONTRACTOR FOR THE WORK CONCERNED HEREIN
 PROSPECTIVE TENANT
 OTHER (Describe) _____

2016 AUG 23 AM 9:13 RECEIVED PLANNERS OFFICE WEST SENECA, NY

2. LOCATION OF THE PROPERTY 15 Bansier Dr.
3. State in general the exact nature of the permission required, Erect Structure closer to rear lot line than allowed.

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. NA, dated _____, 20____.

5. REASON FOR APPEAL.
A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because:
- This addition will provide storage for equipment that is correctly parked in the yard area ~~properties~~. The proposed addition will be of the same (pre-eng. steel) materials that were used in 2014. Access will be through the east and away from the adjacent properties.

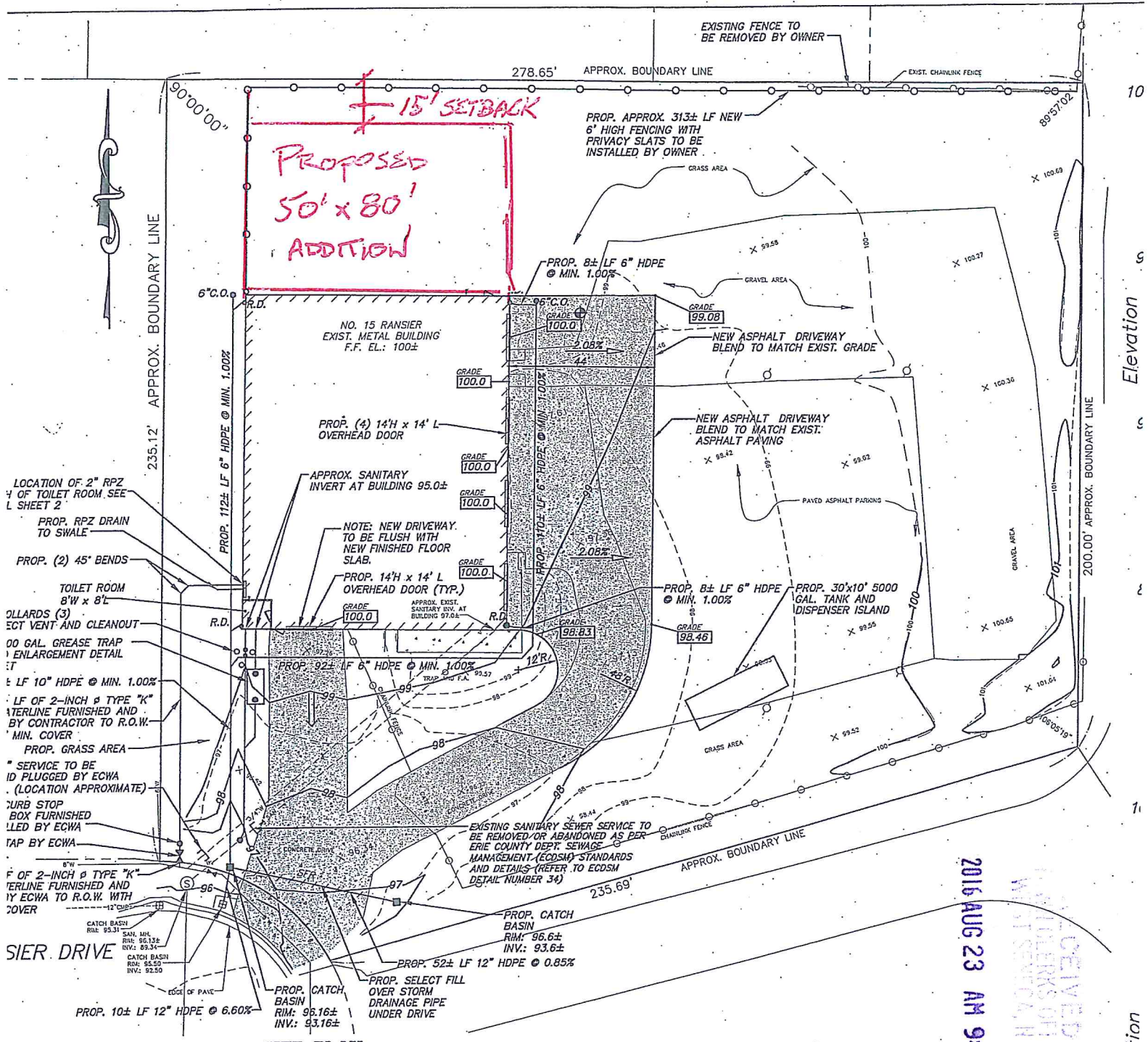
B. Interpretation of the Zoning Ordinance is requested because: _____
C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article _____, Section _____, Subsection _____, Paragraph _____ of the Zoning Ordinance, because: _____

[Signature]
Signature

TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance
120-31 (C)(2)(A) - REAR YARD SETBACK ABUTTING R DISTRICT - 50' REQUIRED - 15' REAR YARD SETBACK REQUESTED
2. Zoning Classification of the property concerned in this appeal M-1
3. Type of Appeal:
 Variance to the Zoning Ordinance.
 Interpretation of the Zoning Ordinance or Zoning Map
 Special or Temporary Permit or an extension thereof under the Zoning Ordinance.
4. A statement of any other facts or data which should be considered in this appeal. _____

[Signature]



SITE PLAN
SCALE: 1"=20'

- ~ GENERAL NOTES ~**
- IT SHALL BE THE OWNER'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FOR ANY OFF-SITE WORK PRIOR TO CONSTRUCTION.
 - THE PROPOSED WATER SERVICE WILL BE SUBJECT TO APPROVAL FROM THE ERIE COUNTY WATER AUTHORITY.
 - ALL OTHER PROPOSED UTILITIES ARE SUBJECT TO APPROVAL FROM THE TOWN OF WEST SENECA BUILDING DEPARTMENT.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF WEST SENECA CONSTRUCTION SPECIFICATIONS AND/OR SUBJECT TO THE LATEST REVISIONS AS APPROVED BY THE TOWN ENGINEER.
 - UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE THIS INFORMATION VERIFIED AND LOCATED PRIOR TO CONSTRUCTION.
 - WHERE EXISTING UTILITIES ARE REQUIRED TO BE RELOCATED, THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE UTILITY COMPANY CONCERNED REGARDING SUCH RELOCATION. THE COST FOR RELOCATION OF UTILITIES SHALL BE INCLUDED IN THE UNIT PRICES BID FOR PIPE, INSTALLATION AND TRENCHING.
 - A 10' MIN. HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN WATER MAIN AND SANITARY SEWER AND STORM SEWER.
 - ALL EXISTING UTILITY LINES AND SERVICE LATERALS CROSSING THE NEW WORK SHALL BE PROTECTED.
 - BEFORE YOU DIG OR BLAST IN WESTERN NEW YORK CALL "DIG SAFELY, NEW YORK" 1-800-962-7962.
- ~ LEGEND ~**
- EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING HYDRANT
 - PROPOSED WATER LINE VALVE
 - EXISTING WATER LINE VALVE
 - EXISTING CONTOUR LINE
 - SELECT FILL (NO. 2 RUN OF CRUSHER STONE)
 - UTILITY POLE
 - GRADE ARROW
 - FINISH GRADE ELEVATION
 - CLEANOUT

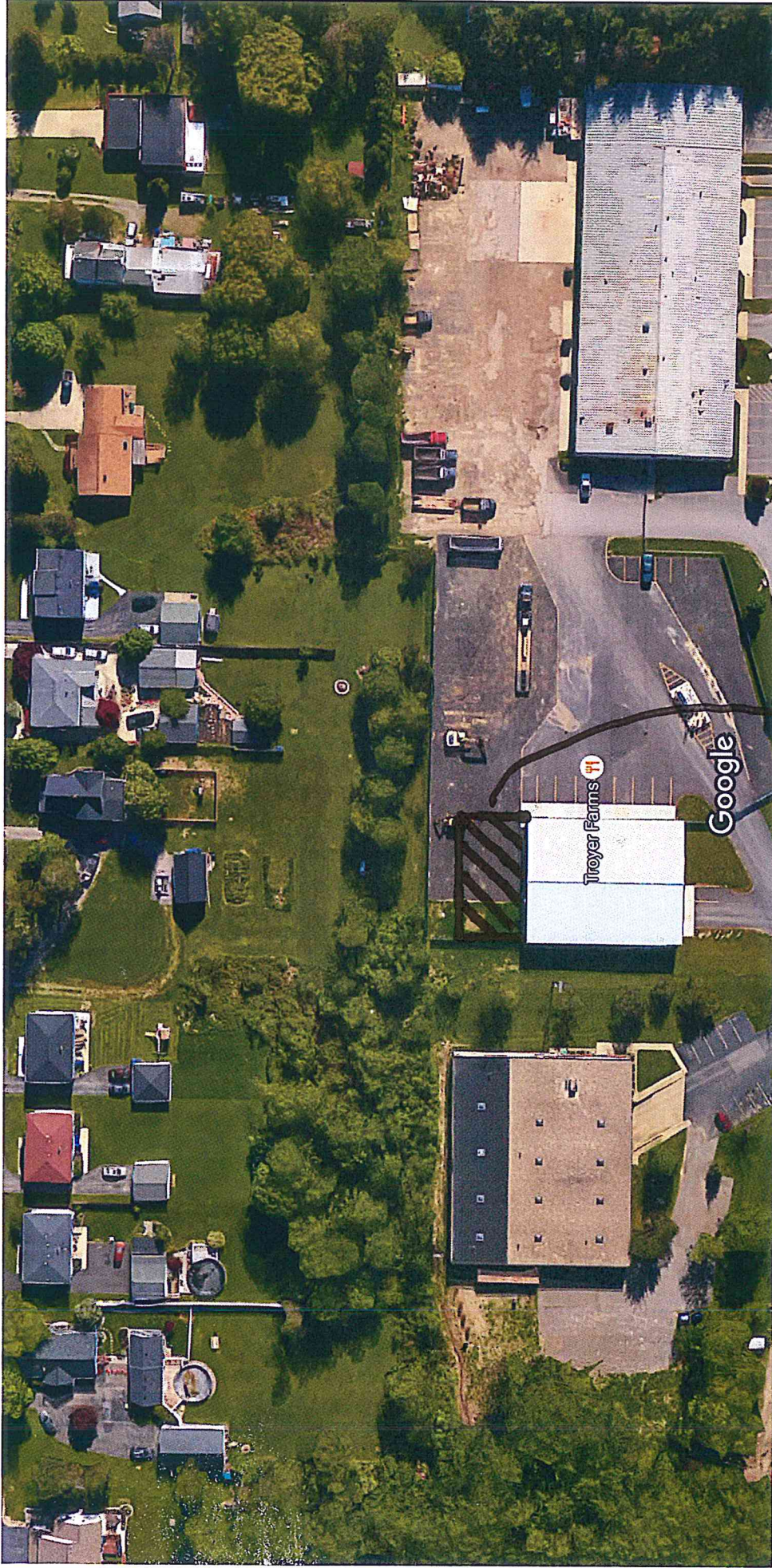
NOTES:
1. BENCHMARK - EXIST. NORTH EAST 12' DOOR F.F. EL. 100.00.

- ERIE COUNTY DEPARTMENT OF SEWERAGE MANAGEMENT NOTES:**
- THE CONTRACTOR IS ADVISED A TRENCH SHIELD AND/OR SHORING DESIGNED IN ACCORDANCE WITH OSHA STANDARDS SHALL BE USED IN ALL OPEN TRENCH EXCAVATIONS.
 - ANY CONTRACTOR AND/OR PLUMBER PERFORMING WORK IN A CONFINED SPACE (I.E. MANHOLES, WETWELLS, CHAMBERS) OWNED BY AN ERIE COUNTY SEWER DISTRICT, MUST CERTIFY TO THE COUNTY THAT THEY EXCEEDS OSHA'S REGULATIONS. CERTIFICATION MUST BE NOTARIZED BY A NOTARY PUBLIC.
 - CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS FOR ERIE COUNTY SEWER DISTRICTS.
 - IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS LESS THAN FOUR (4) FEET OF COVER, THEN CONCRETE ENCASEMENT IS REQUIRED. ATTACH DETAIL #6 TO PLANS. OR
IF ANY PROPOSED SEWER LATERAL RUNS UNDER PAVED AREA AND HAS MORE THAN FOUR (4) FEET OF COVER, THEN "SELECT FILL IS REQUIRED" IN AFFECTED AREAS.
 - THE CONTRACTOR MUST CONTACT THE DISTRICT OFFICE 24 HOURS IN ADVANCE OF CONSTRUCTION.
 - VENTS MUST BE INSTALLED SIX (6) INCHES ABOVE GRADE, IN A GRASSY AREA WITH A MUSHROOM CAP. IF THE VENT IS IN A SIDEWALK OR PAVED AREA, THEN PROTECT WITH BOLLARDS (3 MINIMUM).
 - CLEANOUTS (C.O.) AREA REQUIRED EVERY ONE HUNDRED FEET (100') AND AT CHANGE OF DIRECTION.
 - ABANDONED SANITARY SEWER CONNECTIONS FROM THE SITE, IF ANY, REQUIRE PROOF OF A DISTRICT PERMIT FOR DISCONNECTION PRIOR TO THE NEW CONNECTION BEING MADE.
- SPECIAL NOTE:**
- IF CONNECTION IS PROPOSED INTO THE EXISTING BUILDING SEWER LATERAL A TELEVIEWED INSPECTION OF IT WILL BE REQUIRED PRIOR TO ISSUANCE OF SEWER PERMIT. A SEWER DISTRICT REPRESENTATIVE MUST WITNESS THE INSPECTION AND A TAPE OF IT PROVIDED TO THE DISTRICT. COORDINATE WITH THE SEWER DISTRICT MANAGER, MR. ROER LALLI AT 684-1234 TO SCHEDULE THE TELEVIEWED INSPECTION.

2016 AUG 23 AM 9:26

RECEIVED
PLANNERS OFFICE
TOWN OF WEST SENECA, NY

Elevation
10
9
8
7
6
5
4
3
2
1
Elevation



Imagery ©2016 Google, Map data ©2016 Google 50 ft

2016 AUG 23 AM 9:26

**PROPOSED
ADDITION.**

RECEIVED
TOWN CLERK'S OFFICE
WEST SEWTON, PA