

# APPLICATION TO BOARD OF APPEALS

Tel. No. \_\_\_\_\_

Appeal No. 2017-052  
Date 2-1-17

TO THE ZONING BOARD OF APPEALS, WEST SENECA, NEW YORK:

I (we) Jane Ann Reukay of 15 Hillside Dr. Orchard Park, NY 14127

\_\_\_\_\_, HEREBY APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF THE BUILDING INSPECTOR ON AN APPLICATION FOR A BUILDING PERMIT NO. \_\_\_\_\_, DATED \_\_\_\_\_, 20\_\_\_\_, WHEREBY THE BUILDING INSPECTOR DID DENY TO

- A PERMIT FOR USE
- A PERMIT FOR OCCUPANCY
- A TEMPORARY PERMIT OR EXTENSION THEREOF
- A CERTIFICATE OF EXISTING USE
- A CERTIFICATE OF ZONING COMPLIANCE
- AREA PERMIT

1. Applicant is the  PROPERTY OWNER  
 CONTRACTOR FOR THE WORK CONCERNED HEREIN  
 PROSPECTIVE TENANT  
 OTHER (Describe) \_\_\_\_\_

2. LOCATION OF THE PROPERTY 1589 ORCHARD PARK RD

3. State in general the exact nature of the permission required, CONVERT ONE-FAMILY TO A TWO FAMILY. IT EXISTS A TWO FAMILY CURRENTLY

4. PREVIOUS APPEAL. No previous appeal has been made with respect to this decision of the Building Inspector or with respect to this property, except the appeal made in Appeal No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_.

## 5. REASON FOR APPEAL.

A. A Variance to the Zoning Ordinance is requested because strict application of the ordinance would produce undue hardship, or the hardship created is unique and is not shared by all properties alike in the immediate vicinity of this property and in this use district, or the variance would observe the spirit of the ordinance and would not change the character of the district because: \_\_\_\_\_

We purchased this property as a 2-family. Unfortunately, no permits or approvals were in place and we were unaware.

B. Interpretation of the Zoning Ordinance is requested because: \_\_\_\_\_

C. A Special or Temporary Permit or an Extension thereof Under the Zoning Ordinance is requested pursuant to Article \_\_\_\_\_, Section \_\_\_\_\_, Subsection \_\_\_\_\_, Paragraph \_\_\_\_\_ of the Zoning Ordinance, because: \_\_\_\_\_

Jane C Reukay (agent)  
Signature

## TO BE COMPLETED BY THE BUILDING INSPECTOR

1. Provision(s) of the Zoning Ordinance Appealed, including article, section, subsection or paragraph of the Zoning Ordinance 120-13 - PERMITS ONLY SINGLE FAMILY LOOKING FOR PERMISSION OF 2 FAMILY

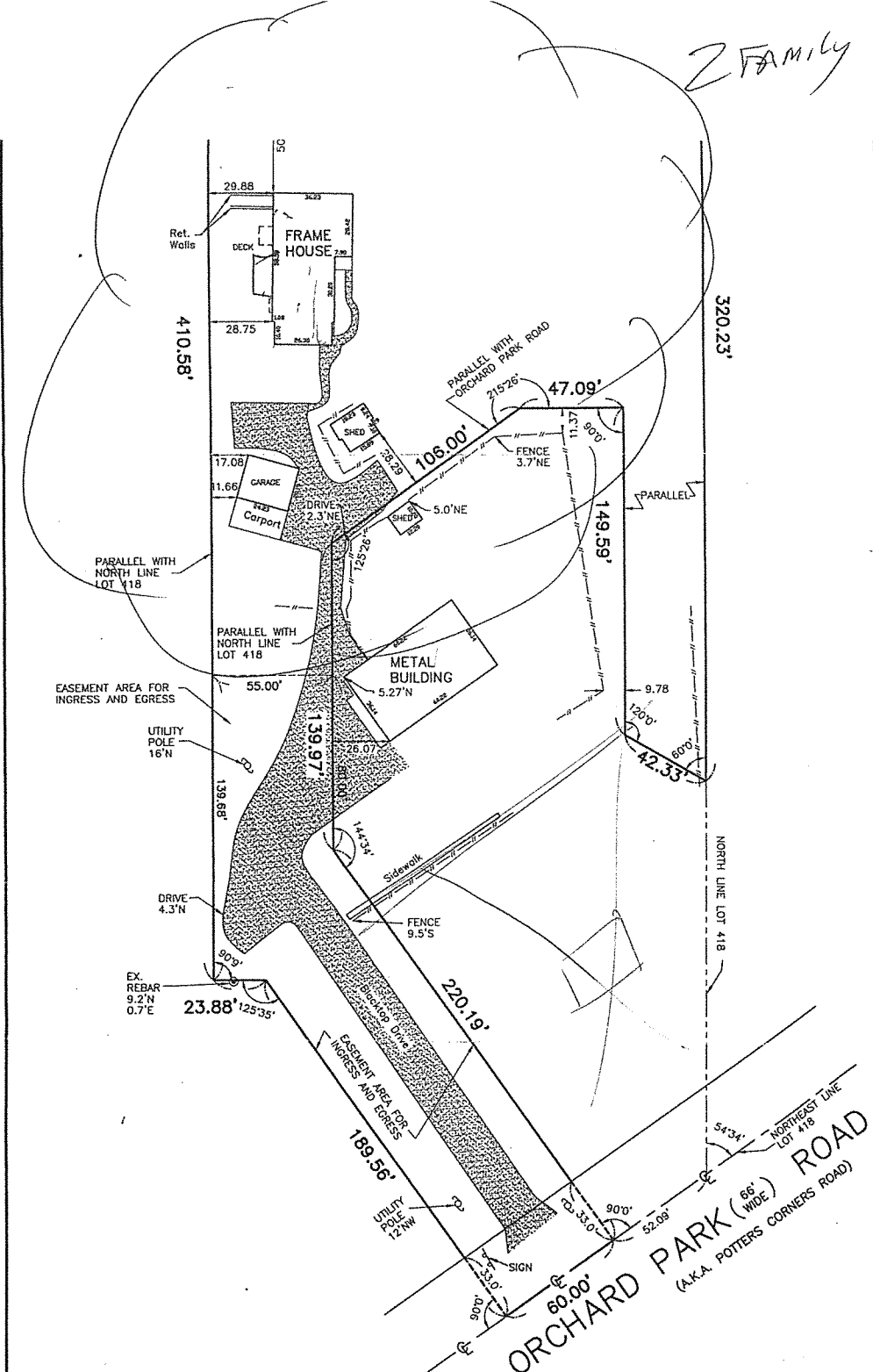
2. Zoning Classification of the property concerned in this appeal R-75

3. Type of Appeal:
- Variance to the Zoning Ordinance.
  - Interpretation of the Zoning Ordinance or Zoning Map
  - Special or Temporary Permit or an extension thereof under the Zoning Ordinance.

4. A statement of any other facts or data which should be considered in this appeal. \_\_\_\_\_

*[Handwritten signature]*

*Z Family*



*Ground Elevation*

PART OF L. 418 S. 10 R. 7 OF THE BUFFALO CREEK RESERVATION  
 VILLAGE OF : TOWN OF WEST SENECA ; COUNTY OF ETC ; STATE OF NEW YORK

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAINAGE DESIGN SPECIFICATION PLAN OR REPORT IS A VIOLATION OF SECTION 7209 PROVISION 3 OF THE NEW YORK STATE EDUCATION LAW.

REVISION		
DATE	JOB	DESCRIPTION

SSL No. 152.07-3-8

**KHEOPS**  
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DRAWN BY BEW SCALE 1"=40' JOB NO. 14HY44.36  
 CHECKED BY DRH FIELD DATE 9/9/14  
 CAD FILE 62462 OFFICE DATE 9/24/14

BOOK 410 PAGE 12 MAP 62462