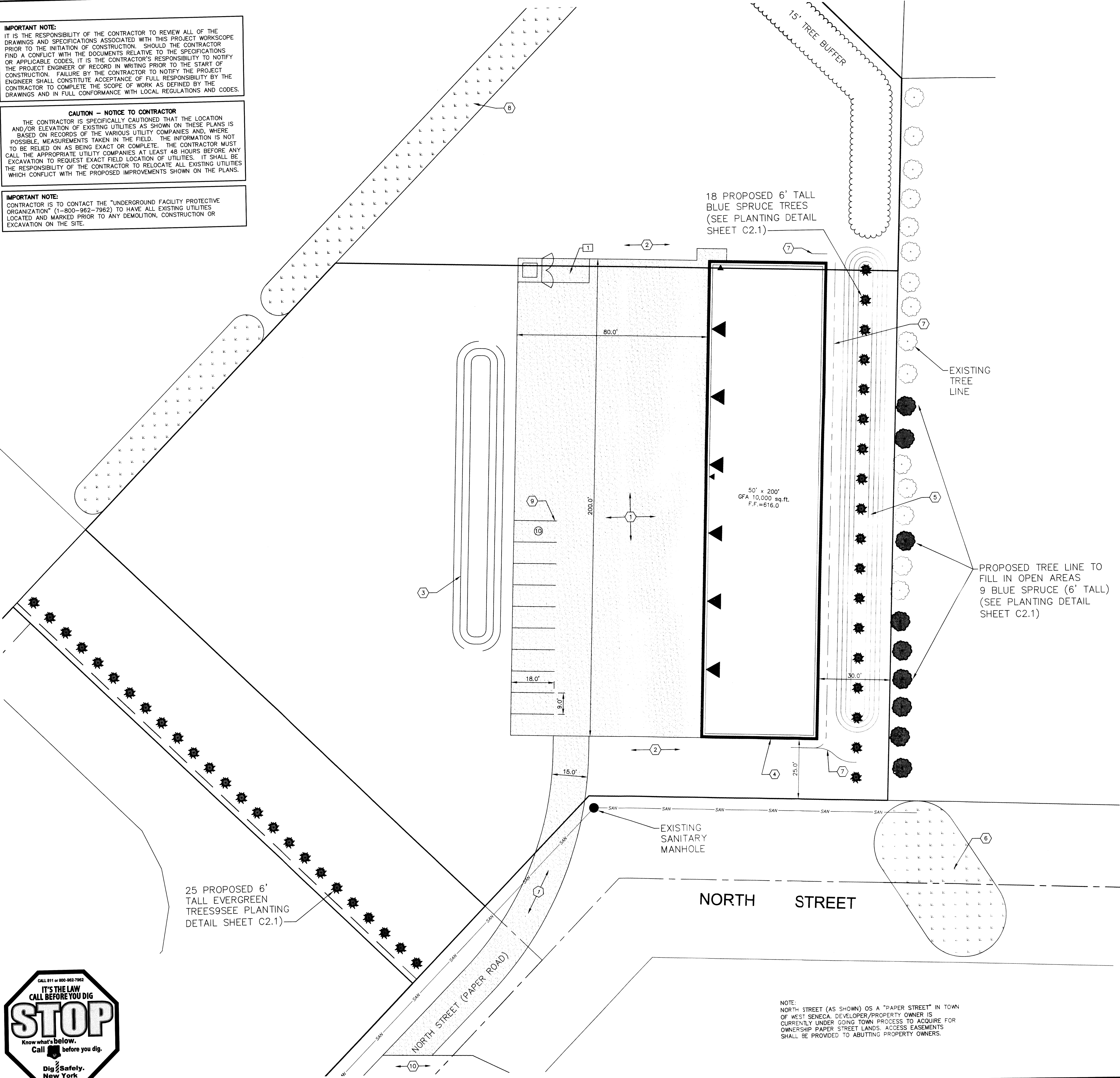


**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.



## SITE NOTES

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT NUMBERS, LOCATIONS, AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT LOCATIONS AND NUMBER OF BUILDING UTILITY ENTRANCES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER'S CONSTRUCTION DIVISION.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED OWNER'S STANDARD SPECIFICATIONS OR AS SPECIFIED BY THE OWNER'S CONSTRUCTION DIVISION.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS, ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA, IN AN ADEQUATE AND SATISFACTORY MANNER.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND R.O.W. MONUMENTS IN THE AREAS OF CONSTRUCTION.
- REFERENCES TO NYSDOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, MAY 1, 2008," WITH ALL CURRENT ADDENDUMS.
- GRADING SHALL BE KEPT WITHIN THE LIMIT SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- BUILDING DIMENSIONS ARE NOT INTENDED FOR BUILDING LAYOUT. SPECIFIC LAYOUT DIMENSIONS SHOULD UTILIZE THE ACTUAL BUILDING PLANS. ANY DISCREPANCIES BETWEEN BUILDING PLANS AND THOSE INDICATED ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHOULD STAKE OUT AND VERIFY EACH OF THE DIMENSIONS INDICATED PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHOULD LOCATE ALL PERTINENT PROPERTY, EASEMENT AND/OR RIGHT OF WAY LINES PRIOR TO COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL NOT TRESPASS OR COMMENCE WORK ON OTHER PROPERTIES, EASEMENTS, OR RIGHT OF WAYS WITHOUT PROPERLY NOTIFYING AND MEETING THE NECESSARY REQUIREMENTS OF THE PROPERTY OWNER OR AUTHORIZED AGENCY.
- OWNER IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND WILL POST THE CONSTRUCTION BOND FOR WORK WITHIN ROAD RIGHT OF WAYS.
- ALL TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS AND TRAFFIC CONTROL SHALL CONFORM TO THE 2009 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT NYS SUPPLEMENT, NYSDOT STANDARD SPECIFICATIONS, NYSDOT STANDARD SHEETS AND NYSDOT WORK ZONE TRAFFIC CONTROL MANUAL DATED JANUARY 2012.
- THE PERMITTEE SHALL AVOID ALL NYSDOT TRAFFIC SIGNAL EQUIPMENT AND VEHICLE DETECTORS. THREE (3) BUSINESS DAYS BEFORE ANY WORK IS STARTED, CONTRACTOR MUST NOTIFY NYSDOT TRAFFIC SIGNAL SHOP SUPERVISOR AT (716) 649-1426. ANY DAMAGE TO SUCH EQUIPMENT SHALL BE REPAIRED BY THE PERMITTEE TO NYSDOT STANDARDS AND SPECIFICATIONS AND WILL BE SUBJECT TO NYSDOT INSPECTIONS.
- THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FROM THE BEST INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INVESTIGATE AND DETERMINE THE EXACT LOCATIONS OF UTILITIES. PRIOR TO CONSTRUCTION IN ORDER TO AVOID CONFLICTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT, SUPPORT AND MAINTAIN ALL EXISTING UTILITIES DURING THE COURSE OF HIS OPERATIONS. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE PLANS AND SPECIFICATIONS FOR THIS PROJECT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE THE WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. ALL WORK MUST BE CARRIED OUT TO MEET ACTUAL FIELD CONDITIONS TO THE SATISFACTION OF THE ENGINEER AND DEVELOPER IN ACCORDANCE WITH THEIR INSTRUCTIONS.

## PARKING REQUIREMENTS

1 SPACE PER 1,000 SF GFA  
10,000 SF GFA = 10 SPACES

☐ DETAILS - SEE SHEET C2.1 FOR THE FOLLOWING DETAIL

- DUMPSTER ENCLOSURE

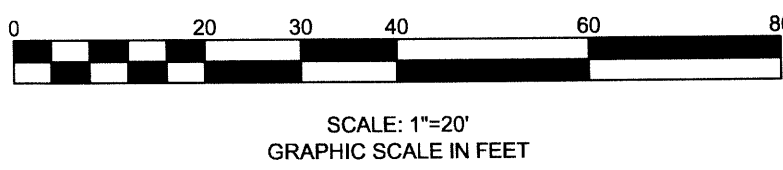
## NOTES

- PERMEABLE STONE SURFACE
- LANDSCAPED (LAWN) AREA, TOPSOIL AND (GRASS) SEED
- STORMWATER DETENTION AREA
- BUILDING EXTERIOR LIGHTING WILL BE DIRECTED DOWNWARD TO PREVENT OFFSITE GLARE. DARK SKY COMPLIANT LIGHTING SHALL BE USED.
- LANDSCAPED BERM (3' HEIGHT)
- GRASS BERM (6' HEIGHT)
- GRASS LINED SWALE
- GRASS BERM (2.5' HEIGHT)
- EMPLOYEE PARKING
- EXISTING STONE SURFACE

DETAILS OF DEVELOPMENT			
ZONING		M1 (EXISTING AND PROPOSED)	
		REQUIRED	PROVIDED
BUILDING SETBACKS	FY	25'	126'
	RY	10'	21'
	INT. SY	10'	59.45'
NET LOT AREA		447,344.4± sq.ft.	
BUILDING COVERAGE		2.2%	
BUILDING HEIGHT		40' MAX.	
GROSS FLOOR AREA		10,000 sq.ft.	
No. of UNITS		1	
PARKING: 1 SP/1000 SF GFA		10	10

## LEGEND

- SIGN
- BUILDING ENTRANCE
- PERMEABLE STONE SURFACE
- CONCRETE
- HANDICAPPED PARKING STALL
- NUMBER OF PARKING SPACES



**PROPOSED WAREHOUSE**  
3254 CLINTON / 0 NORTH STREET  
TOWN OF WEST SENECA - ERIE COUNTY - NEW YORK

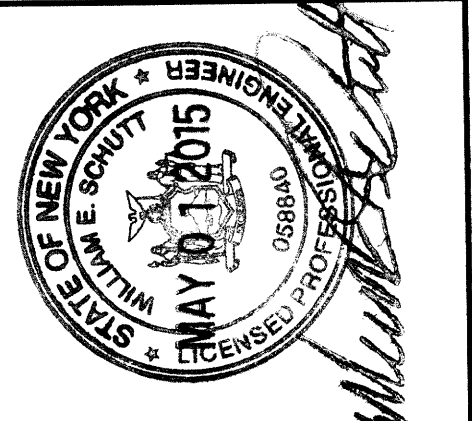
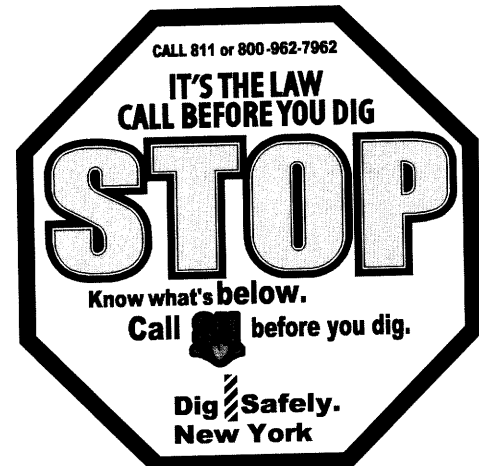
**SITE, LANDSCAPING PLAN AND NOTES**

THIS SHEET ISSUED MAY 1, 2015

**C2**

DRAWING SCALE: 1"=20'

WSA PROJECT NO. 15052



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