

# TOWN OF WEST SENECA

## APPLICATION FOR REZONING - SPECIAL PERMIT

### TO BE COMPLETED BY APPLICANT

DATE June 30, 2016

FILE # 2016-04

PROJECT NAME NEW BILLBOARD SIGN

PROJECT LOCATION (Include address and distance to nearest intersection)

525 Bullis Rd. West Seneca N.Y. 14224

Approx. 120' to New Bullis Rd.

APPLICANT Vann Advertising, Inc

PH/FAX 716-425-6443

ADDRESS 5651 River Rd Niagara Falls, ON L2E 7m7

PROPERTY OWNER Weller Land + Reality Co.

PH/FAX \_\_\_\_\_

ADDRESS 801 Rice Rd Elma, N.Y. 14059

ENGINEER/ ARCHITECT \_\_\_\_\_

PH/ FAX \_\_\_\_\_

ADDRESS \_\_\_\_\_

BL # 13617-1-19

PROJECT DESCRIPTION (Include all uses and any required construction)

To construct a two sided 10 ft x 36' w billboard sign 35' high

SIZE OF LOT (acres) 1.57917

ACREAGE TO BE REZONED NA

ADJACENT ROAD NAMES AND AMOUNT OF FRONTAGE ON EACH

The proposed sign is located between New Bullis Rd. + Route 400

EXISTING ZONING M1

PROPOSED ZONING M-1(s)

EXISTING USE(S) ON PROPERTY VACANT

PROPOSED USE(S) ON PROPERTY \_\_\_\_\_

EXISTING USE(S) AND ZONING ON ALL PROPERTY WITHIN 500 FEET

COMMERCIAL TO NORTH, RAILROAD TO SOUTH / ROUTE 400

PUBLIC SEWER YES  NO \_\_\_\_\_

PUBLIC WATER YES  NO \_\_\_\_\_

VARIANCES AND OTHER APPROVALS OR PERMITS REQUIRED

NR

APPLICATIONS WILL NOT BE ACCEPTED WITHOUT COMPLETION OF ALL REQUIREMENTS LISTED HEREIN

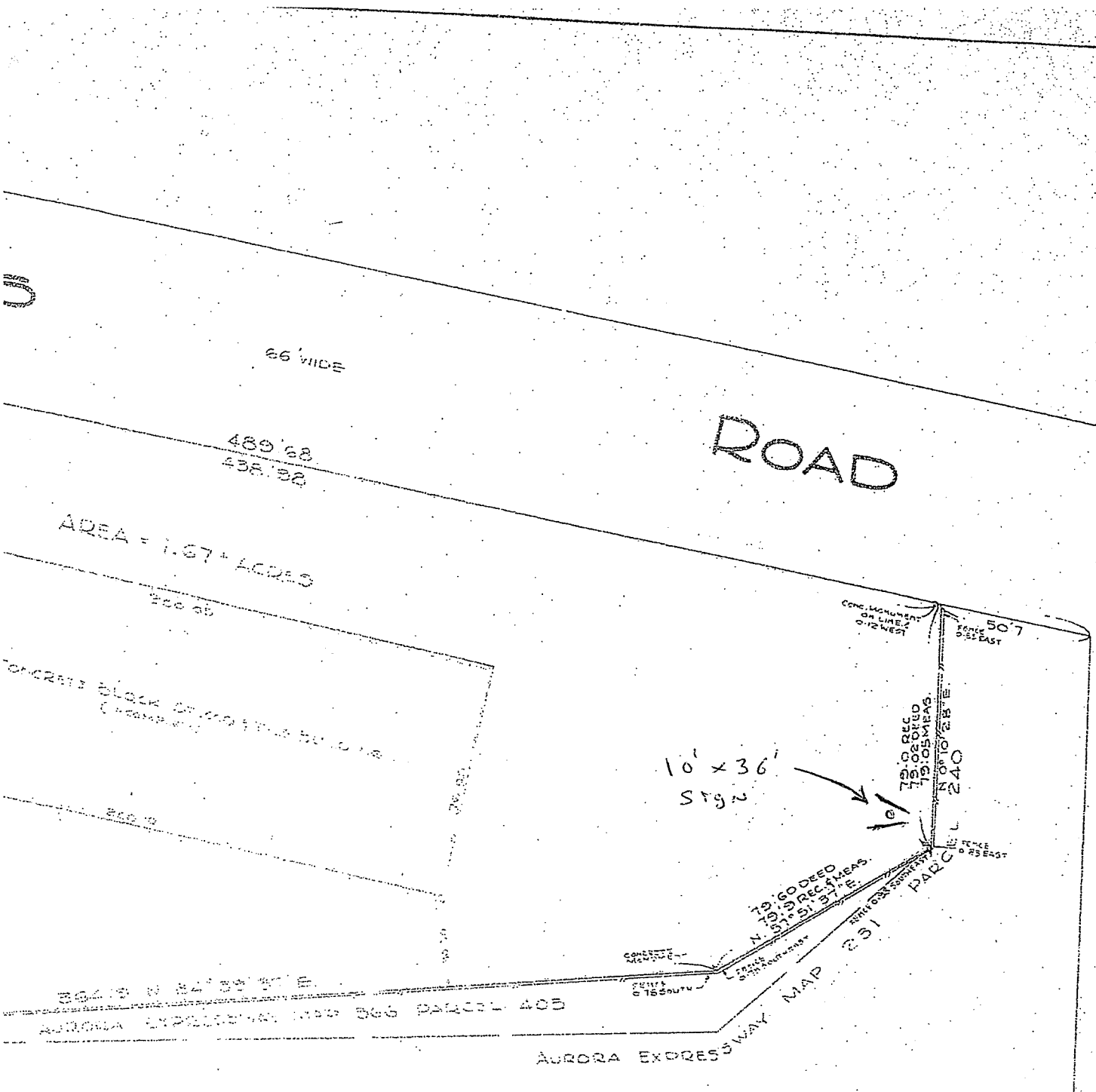
### TO BE COMPLETED BY THE TOWN OF WEST SENECA

DATE RECEIVED 06/30/2016 BY J. Johnson

PLANNING BOARD MEETING DATE 07/14/2016

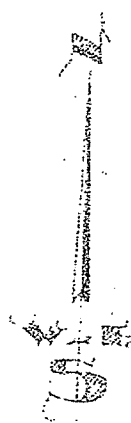
TOWN BOARD MEETING DATE \_\_\_\_\_

TOWN BOARD RESOLUTION DATE \_\_\_\_\_



TRANSIT

EXPRESSWAY



RAY L. SONNENBERGER  
LAND SURVEYOR  
N. E. LIC. NO. 036192  
BUFFALO, N. Y.

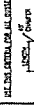
SCALE 1" = 50.00'  
SHEET 34366

DATE APRIL 6, 1976  
NO. 76-281

**NOTES**

- 1) Erection shall be based on the foundation of proposed fire shed, and shall be in accordance with the design of the structure and all conditions exist.
- 2) Provide 1/2" gap joints for end of bottom pipe. Gap joints to be welded, as shown, to 1/4".
- 3) Allowance for shrinkage of concrete shall be 1/4" (1 inch/4 feet).
- 4) Concrete grade to be 3,000 p.s.f. minimum, except where noted.
- 5) All concrete to have a horizontal finish.

**TYPICAL GUSSET DETAIL**



1/2" Gusset  
1/2" Gap

**GENERAL NOTES**

- 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED.
- 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- 3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.
- 4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 6. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 7. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 8. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 9. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
- 10. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.

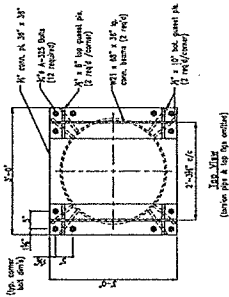
**APPROXIMATE MATERIAL QUANTITIES**

2012 NY State Reg. Code (115 reg - Exp. 6) - Risk Cat. 3

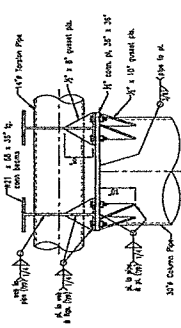
Effective Engineering Solutions, LTD.  
61 White Water Court  
New Lenox, IL 60461  
(815) 465-1470



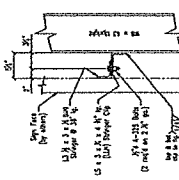
PROJECT:	105'-0" x 137' Rectangular
CLIENT:	Back to Back Structure of 32'-0" Overall Height
DESIGNER:	Veon Advertising
DATE DRAWN:	4/13/2016
DRAWN BY:	J.P.
CHECKED BY:	J.P.
SCALE:	AS SHOWN
PROJECT NO.:	70617



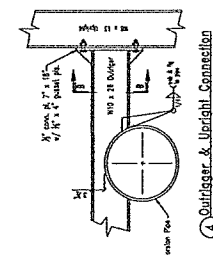
③ Rear Ledger Connection



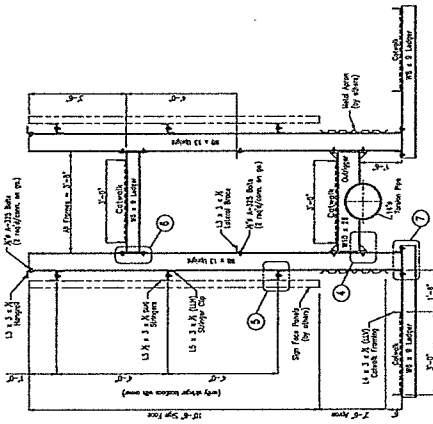
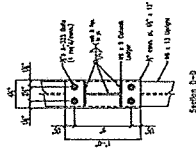
③ Column Connection



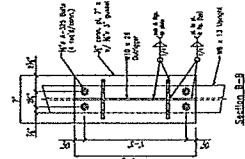
⑤ Slinger Connection



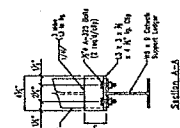
④ Outrigger & Upright Connection



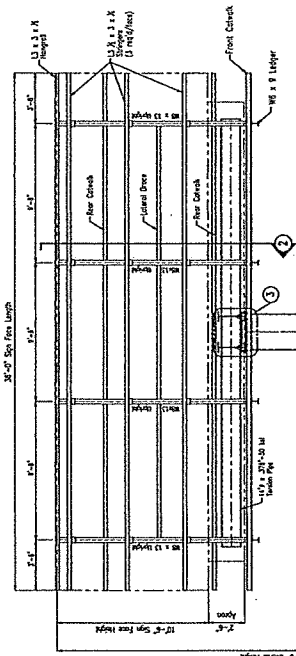
② Column Detail



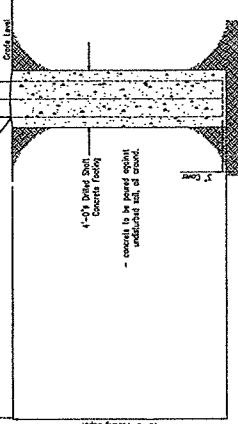
Station B-B



⑦ Front Ledger Connection



① Front Elevation



4'-0" Thick Shell Concrete Footing - concrete to be poured against undisturbed soil, as shown.

**NOTES**

- 1) Flashing ledges based on the condition of exposed fire steel. If fire steel is not exposed, use 2" x 4" x 1/2" flashing. If fire steel is exposed, use 2" x 4" x 1/2" flashing. Flashing ledges shall be installed in accordance with the code.
- 2) Flashing ledges shall be installed in accordance with the code. Flashing ledges shall be installed in accordance with the code.
- 3) Flashing ledges shall be installed in accordance with the code. Flashing ledges shall be installed in accordance with the code.
- 4) Flashing ledges shall be installed in accordance with the code. Flashing ledges shall be installed in accordance with the code.
- 5) All connections shall be installed in accordance with the code.

**TYPICAL GUSSET DETAIL**



**GENERAL NOTES**

- 1) All connections shall be installed in accordance with the code.
- 2) All connections shall be installed in accordance with the code.
- 3) All connections shall be installed in accordance with the code.
- 4) All connections shall be installed in accordance with the code.
- 5) All connections shall be installed in accordance with the code.

**2012 NYC Sub. Bldg. Code (NYC Sub. Bldg. Code - En. C) - Sub. C.1**

**Effective Roofing Solutions, LTD.**

New York, NY 10018  
(913) 405-1170

Back to Back Studs @ 24\"/>

New York

DESIGNED BY: CML

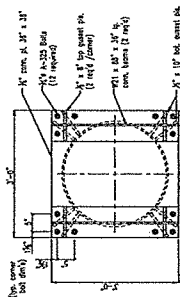
DRAWN BY: DBM

DATE DRAWN: 4/13/2016

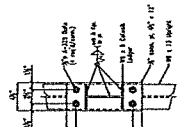
PROJECT NO: 15-01

1 of 1

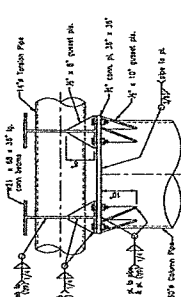
70557



3 Rear Ledger Connection



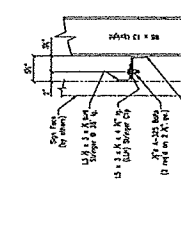
Section A-A



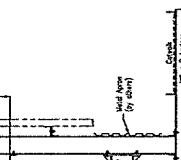
3 Column Connection



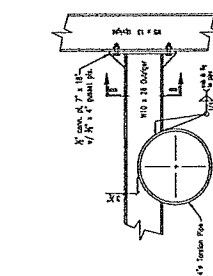
Section A-A



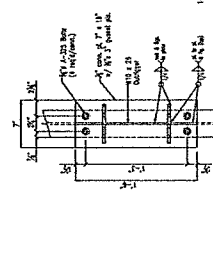
5 Sill Liner Connection



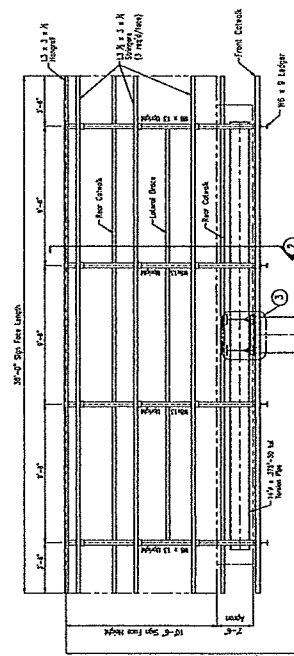
Section A-A



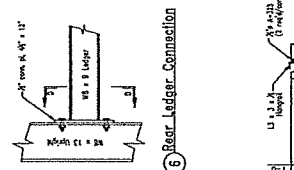
4 Outboard Upright Connection



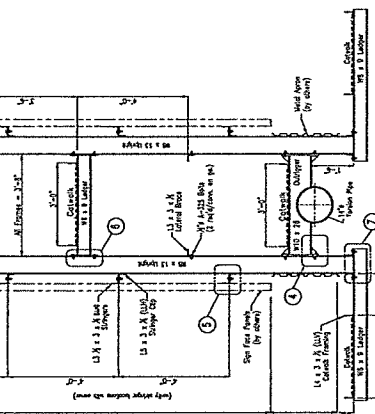
Section A-A



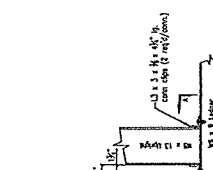
7 Front Ledger Connection



Section A-A



2 Frame Detail



Section A-A

1 Front Elevation

