

SITE DATA:

PROJECT LOCATION:
211 FISHER ROAD

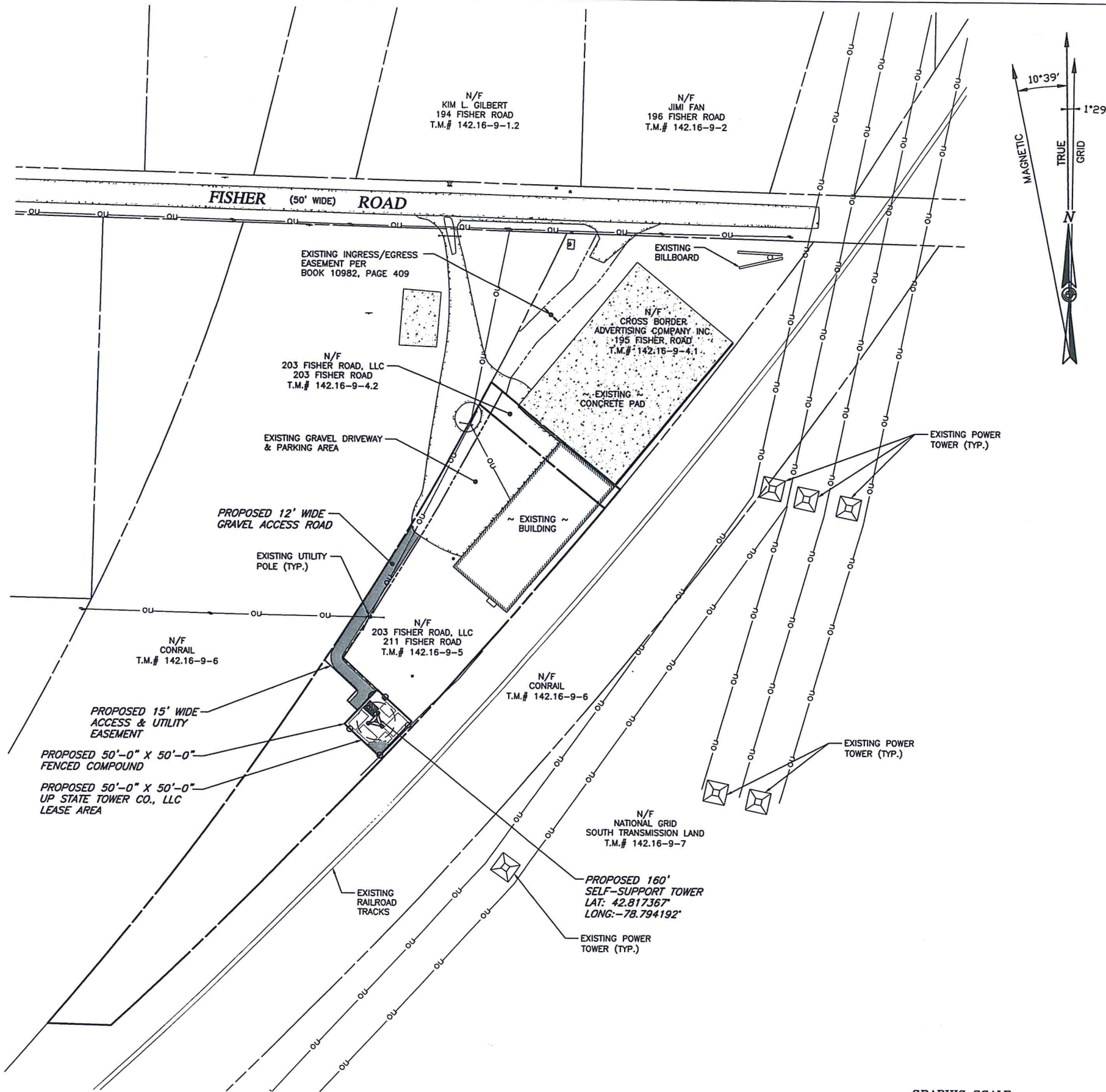
PROPERTY OWNER:
203 FISHER ROAD LLC.
203 FISHER ROAD
WEST SENECA, NY 14218

TAX ACCOUNT #:
142.16-9-5

ZONING DATA:

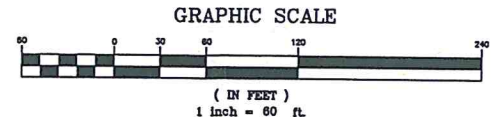
ZONING DISTRICT:
(M-1) MANUFACTURING DISTRICT

LOT REQUIREMENTS:
FRONT: 25'
SIDE: 10' EACH
REAR: 10'



OVERALL SITE PLAN

SCALE: 1"=60' (22X34)
1"=120' (11X17)



LEGEND

- SECTION/PARCEL BOUNDARY
- PROPOSED EASEMENT LINE
- MIN. BUILDING SETBACK
- CENTER LINE
- EXIST. EASEMENT LINE
- EXIST. RIGHT-OF-WAY LINE
- EXIST. EDGE OF PAVEMENT
- BARBED WIRE, STOCKADE, CHAIN LINK
- EXISTING BUILDING

upstateTower
4915 AUBURN AVE. SUITE 208
BETHESDA, MD 20814
PHONE: 301-907-2484
FAX: 301-907-9021

CICG CARPENTER CONSULTING GROUP
DEVELOPMENT DESIGN
RESIDENTIAL | COMMERCIAL | WIRELESS | ENERGY
17 Industrial Street | Rochester, NY 14614
Office: 585-360-2733 | Fax: 585-360-2735
www.carpenters.com

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DESIGNED BY:	DATE:
DRB	5/3/17
APPROVED BY:	A&E PROJECT #:
DWC	15-B-046

NO.	DATE	ISSUED FOR REVIEW	DESCRIPTION	DRB	BY
0.	5/15/17				

SITE NUMBER:	BUF-637B
SITE NAME:	FISHER ROAD
SITE ADDRESS:	211 FISHER ROAD WEST SENECA, NY 14218
SITE TYPE:	RAW LAND

SHEET TITLE:	OVERALL SITE PLAN
DRAWING #:	C-1
REVISION:	0