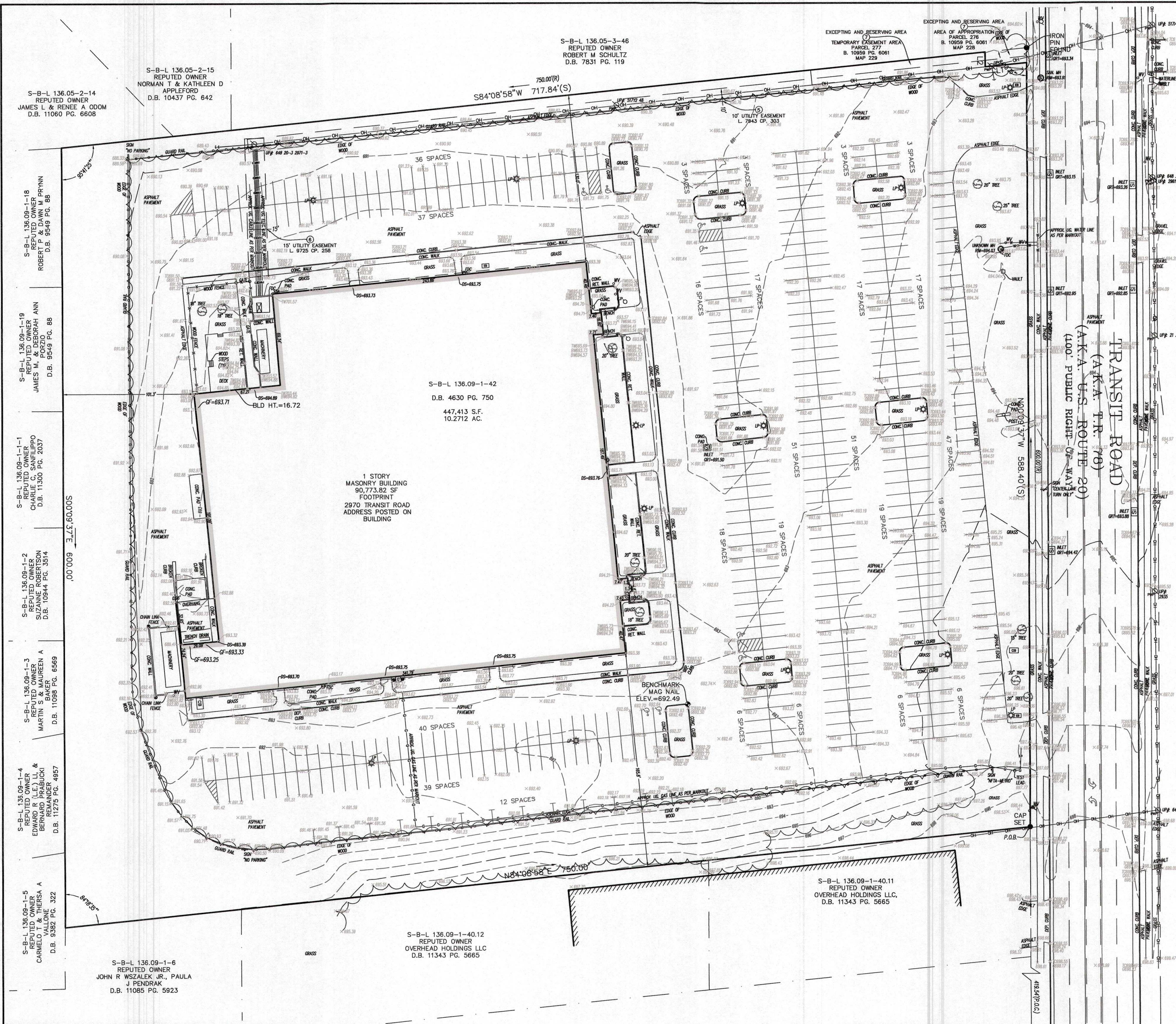




UTILITY NOTES

ONE CALL TICKET NUMBER 07251-000-146 CALL DATE JULY 27, 2021

UTILITIES SHOWN ARE BASED ON LIMITED DATA. THERE IS NO GUARANTEE AS TO THEIR LOCATION OR SIZE. PLEASE CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. POSSIBLE CONTACTS IN THIS AREA ARE:

VERIZON — 1-866-408-9290
CHARTER COMMUNICATIONS BUFFALO
ELMA WATER DEPARTMENT
ERIE COUNTY DIVISION OF SEWER MANAGEMENT
ERIE COUNTY WATER AUTHORITY
NATIONAL FUEL GAS
NYSEG LANCASTER ELECTRIC
TOWN OF WEST SENeca HIGHWAY

SITE DATA

1. PROPERTY IS KNOWN AS S-B-L 136.09-1-42 IN THE TOWN OF WEST SENeca, ERIE COUNTY, NEW YORK.
2. LOT AREA = 447,413 S.F. OR 10.2712 AC.
3. NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
4. VERTICAL DATUM = NAVD88 - BENCHMARK - MAG NAIL, ELEV.=692.49
5. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATION AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES.
6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
7. TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = AUGUST 10, 2021.
8. PARKING PROVIDED -
-REGULAR = XXX SPACES
-HANDICAP = XX SPACES
TOTAL SPACES PROVIDED = XXX
9. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 10, THERE ARE NO PARTY WALLS AFFECTING THE PROPERTY BOUNDARY.
10. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 11a, THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND PLANS AND/OR REPORTS PROVIDED BY THE CLIENT.
11. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 11b, THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND SURFACE MARKINGS PURSUANT TO A PRIVATE UTILITY REQUEST FOR GROUND MARKINGS OF UNDERGROUND UTILITY LINES PERFORMED BY XXXX ON XX/XX/XXXX.
12. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
13. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 17, THERE ARE NO KNOWN CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTIONS. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTIONS OR REPAIRS.
14. IN RESPONSE TO ALTA/NSPS TABLE A ITEM 18, THERE ARE NO OFFSITE EASEMENTS OR SERVITUDES BENEFITING THE SUBJECT PROPERTY AS DISCLOSED BY THE TITLE COMMITMENT PROVIDED FOR THIS SITE.
15. THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH A RAISED IMPRESSION SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
16. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
17. COPYRIGHT © 2021, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION SEAL ARE NOT VALID.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPY.

CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

ZONING

The surveyor was not provided with zoning information by the insurer pursuant to Table A item 5 (a)(b.)

SURVEYOR'S CERTIFICATION

TO: FIRST AMERICAN TITLE INSURANCE COMPANY; AMERCO REAL ESTATE COMPANY A NEVADA CORPORATION; & U-HAUL CO. OF NEW YORK AND VERMONT

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10a, 11, 13, 14, 16, 17, 18, 19, 20, & 21 of Table A thereof.

The field work was completed on August 12, 2021.

Gregory C. Noll
Professional Land Surveyor 50896
in the State of New York
Date of Survey: August 23, 2021
Date of Last Revision: August 23, 2021

Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610-365-2907
Fax 610-365-2958
Email: gcnoll@firstorderllc.net
Project No. V210220

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURPOSE AND/OR WORTHNESS OF INTEREST IN THE PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AS EVIDENCE, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

VICINITY MAP

NOT TO SCALE

LEGAL DESCRIPTION

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE TOWN OF WEST SENeca, COUNTY OF ERIE AND STATE OF NEW YORK, BEING PART OF LOT NOS. 350 AND 351 OF THE EBENEZER LANDS, SO-CALLED, AS SHOWN ON MAP FILED IN ERIE COUNTY CLERK'S OFFICE UNDER COVER NO. 58, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WEST LINE OF TRANSIT ROAD, 100 FEET WIDE, AS CONVEYED TO THE COUNTY OF ERIE BY DEED RECORDED IN ERIE COUNTY CLERK'S OFFICE IN LIBER 2078 OF DEEDS AT PAGE 114, DISTANT 419.54 FEET NORTHERLY FROM THE INTERSECTION OF SAID WESTERLY LINE OF TRANSIT ROAD WITH THE NORTHERLY LINE OF SCHULTZ ROAD (FORMERLY KNOWN AS CENTRAL OR EAST CENTRAL ROAD), 66 FEET WIDE, AS MEASURED ALONG SAID WESTERLY LINE OF TRANSIT ROAD,

RUNNING THENCE NORTHERLY ALONG SAID WESTERLY LINE OF TRANSIT ROAD, A DISTANCE OF 600 FEET TO THE POINT OF INTERSECTION OF SAID WESTERLY LINE OF TRANSIT ROAD WITH THE NORTHERLY LINE OF LOT NO. 350;

THENCE WESTERLY AT AN INTERIOR ANGLE OF 84° 18' 35" WITH SAID WESTERLY LINE OF TRANSIT ROAD AND ALONG THE NORTHERLY LINE OF LOT NOS. 350 AND 351, A DISTANCE OF 750 FEET TO A POINT;

THENCE SOUTHERLY AT AN INTERIOR ANGLE OF 95° 41' 25" AND PARALLEL WITH SAID WESTERLY LINE OF TRANSIT ROAD, A DISTANCE OF 800 FEET TO A POINT;

THENCE EASTERLY AT AN INTERIOR ANGLE OF 84° 18' 35" AND PARALLEL WITH THE NORTHERLY LINES OF LOT NOS. 351 AND 350, A DISTANCE OF 750 FEET TO THE POINT OR PLACE OF BEGINNING.

EXCEPTING AND RESERVING FROM THE ABOVE DESCRIBED PARCEL THAT PORTION THEREOF APPROPRIATED BY THE PEOPLE OF THE STATE OF NEW YORK AS MAPS 228 AND 229, PARCELS 276 AND 277 AS DESCRIBED IN LIBER 10959 OF DEEDS AT PAGE 6081.

Being the same tract of land described in a Title Report provided by First American Title Insurance Company, Commitment No. NCS-1077375-PHX1, dated July 6, 2021.

SCHEDULE B EXCEPTIONS

FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1077375-PHX1, DATED JULY 6, 2021

Utility Agreement recorded in (as) 07/31/1972 in Liber 7943 CP 303 granting the right to maintain poles and wires with the right to lay guy wire and trim trees. (See Post). - PLOTTED ON SURVEY.

Underground Utility Easement contained in Grant recorded on 06/17/1987 in (as) Liber 9725 CP 258. (See Post). - PLOTTED ON SURVEY.

Notice of Appropriation dated 11/12/1999 and recorded 11/21/1999 in Book 10959 Page 6061. (See Post). - PLOTTED ON SURVEY.

Oil and Gas Lease to South Buffalo Natural Gas Company recorded in Liber 745 of Deeds, at page 445 on 04/09/1894 (See Post). - NOT PLOTTED ON SURVEY, IT IS BLANKET IN NATURE.

Oil and Gas Lease to J.W. Hulse recorded in Liber 2167 of Deeds, at page 246 on 11/25/1931 (See Post). - NOT PLOTTED ON SURVEY, IT IS BLANKET IN NATURE.

SIGNIFICANT OBSERVATIONS

NONE OBSERVED

FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 360262 0352 H, MAP# 36029C0352H WHICH HAS AN EFFECTIVE DATE OF JUNE 7, 2019 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR AN AMENDMENT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (NAVD88).

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

VALLEY LAND SERVICES, LLC

4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
Phone (610) 365-2907 Fax (610) 365-2958
NJ Certificate of Authorization: 246A28339300

SITE ADDRESS: 2970 TRANSIT ROAD,
TOWNSHIP OF WEST SENeca,
ERIE COUNTY, NEW YORK.

CLIENT: AMERCO REAL ESTATE COMPANY

JOB NO: V210220 DRAWN BY: AJS APPROVED BY: GCN

DATE: AUGUST 23, 2021

REVISIONS:

No.	DATE	DESCRIPTION
1	10-11-2021	ADDED CERT PARTIES

SHEET 1 OF 1

0' 40' 80' 120'

SCALE: 1" = 40'

1

SITE REDEVELOPMENT PLANS FOR

U-HAUL OF WEST SENECA

2970 TRANSIT ROAD

WEST SENECA, NY 14224

AGENCY & MUNICIPALITY CONTACTS:

TOWN OF WEST SENECA
1250 UNION ROAD, ROOM 210, WEST SENECA, NY 14224
1-716-558-3242
CONTACT: JEFFREY SCHIEBER

UTILITY CONTACTS:

ELECTRIC SERVICE: NYSEG LANCASTER ELECTRIC
ADDRESS: 150 ERIE STREET, LANCASTER, NY 14086
PHONE: 1-716-681-5030
CONTACT:

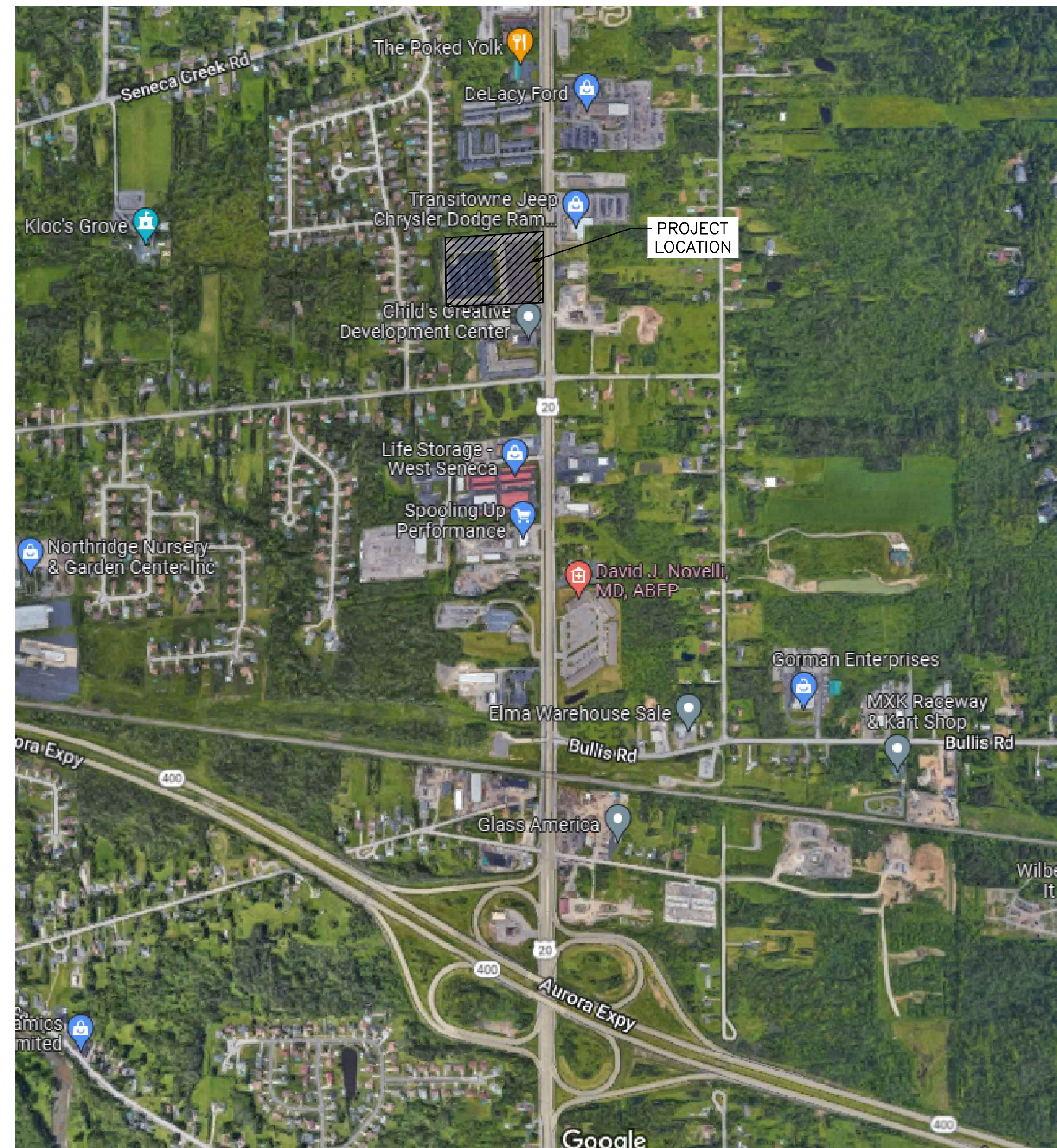
GAS SERVICE: NATIONAL FUEL GAS
ADDRESS: 409 MAIN STREET, BUFFALO, NY 14203
PHONE: 1-716-857-7431
CONTACT:

PHONE SERVICE: VERIZON
ADDRESS: 65 FRANKLIN STREET, ROOM 602, BUFFALO, NY 14202
PHONE: 1-716-398-5785
CONTACT:

WATER SERVICE: ERIE COUNTY WATER AUTHORITY
ADDRESS: 295 MAIN STREET, ROOM 350, BUFFALO, NY 14203
PHONE: 1-716-685-8207
CONTACT:

SANITARY SEWER SERVICE: ERIE COUNTY DIVISION OF SEWER MANAGEMENT
ADDRESS: 95 FRANKLIN STREET, ROOM 1034, BUFFALO, NY 14202
PHONE: 1-716-558-3241
CONTACT:

DRAWING INDEX		
SHEET NO.	DRAWING NO.	DESCRIPTION
1	COVER SHEET	COVER SHEET
2	CD101	DEMOLITION PLAN
3	CP100	OVERALL SITE PLAN
4	CP101	SITE PLAN
5	CU101	UTILITY AND GRADING PLAN
6	CP501	SITE DETAILS
7	CP502	MISCELLANEOUS DETAILS



LOCATION SKETCH
N.T.S.

CLIENT:

AMERCO REAL ESTATE / U-HAUL INTERNATIONAL
2727 NORTH CENTRAL AVE, PHOENIX, AZ 85004
1-716-807-4525
CONTACT: ERIC VAN KUREN

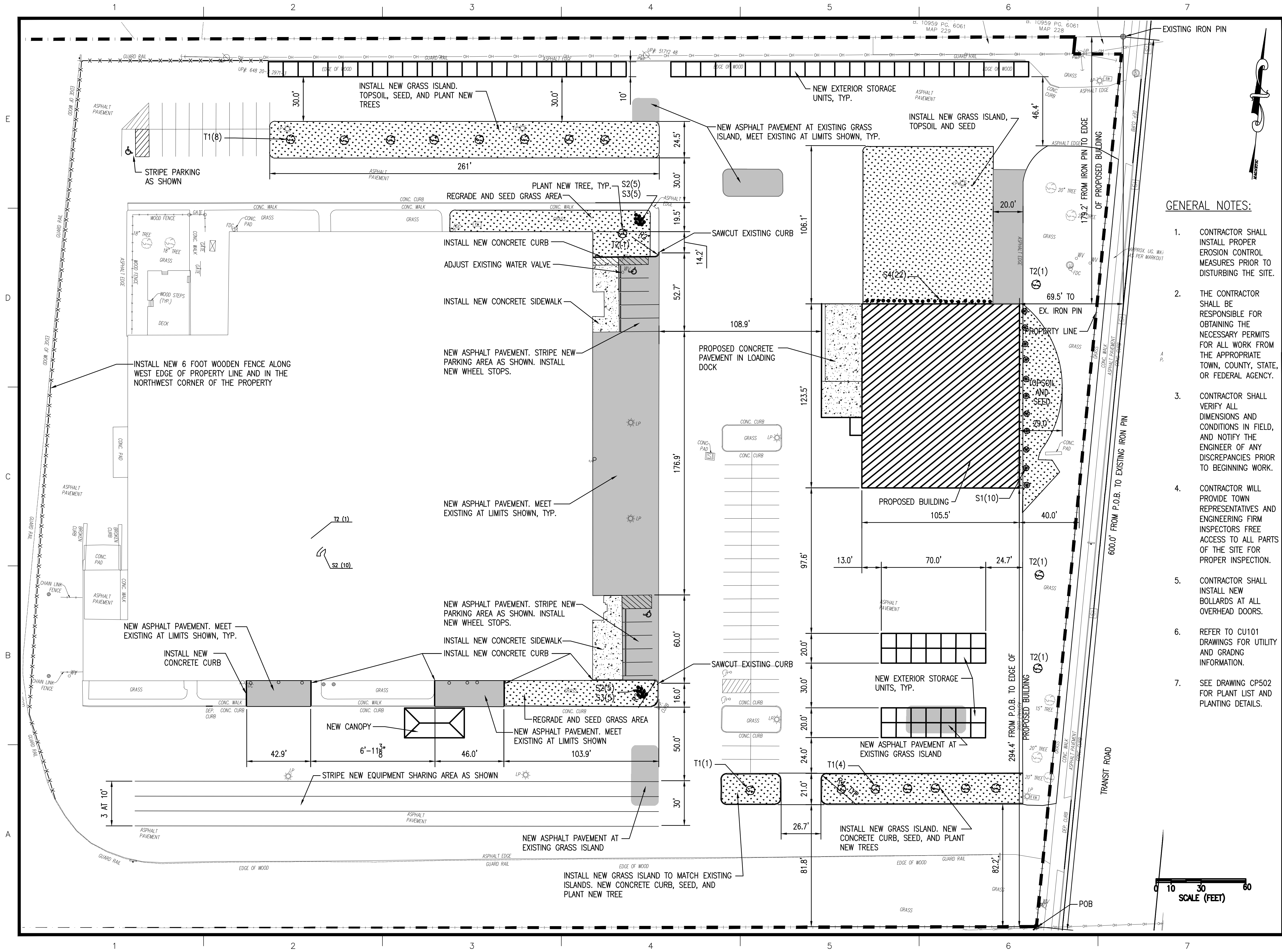
ENGINEER:



689 Main Street Buffalo, NY 14203
P 716 656-1900 F 716 656-1987
www.didonato.cc



JUNE 24, 2022



DIDONATO
ENGINEERING & ARCHITECTURAL PROFESSIONALS

689 Main Street Buffalo, NY 14203
P 716 656-1900 F 716 656-1987
www.didonato.cc

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SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

AMERCO
REAL ESTATE COMPANY

U-HAUL OF WEST SENECA
2970 TRANSIT ROAD
WEST SENECA, NY 14224

MARK	DATE	DESCRIPTION
1	6/24/22	SITE PLAN REVIEW

ISSUE:

PROJECT NO:	XXXX
DESIGNER PROJECT NO:	22-3280
CAD DWG FILE:	CP101.DWG
DRAWN BY:	KLH
CHECKED BY:	CHG
SCALE:	AS NOTED
COPYRIGHT:	

SHEET TITLE

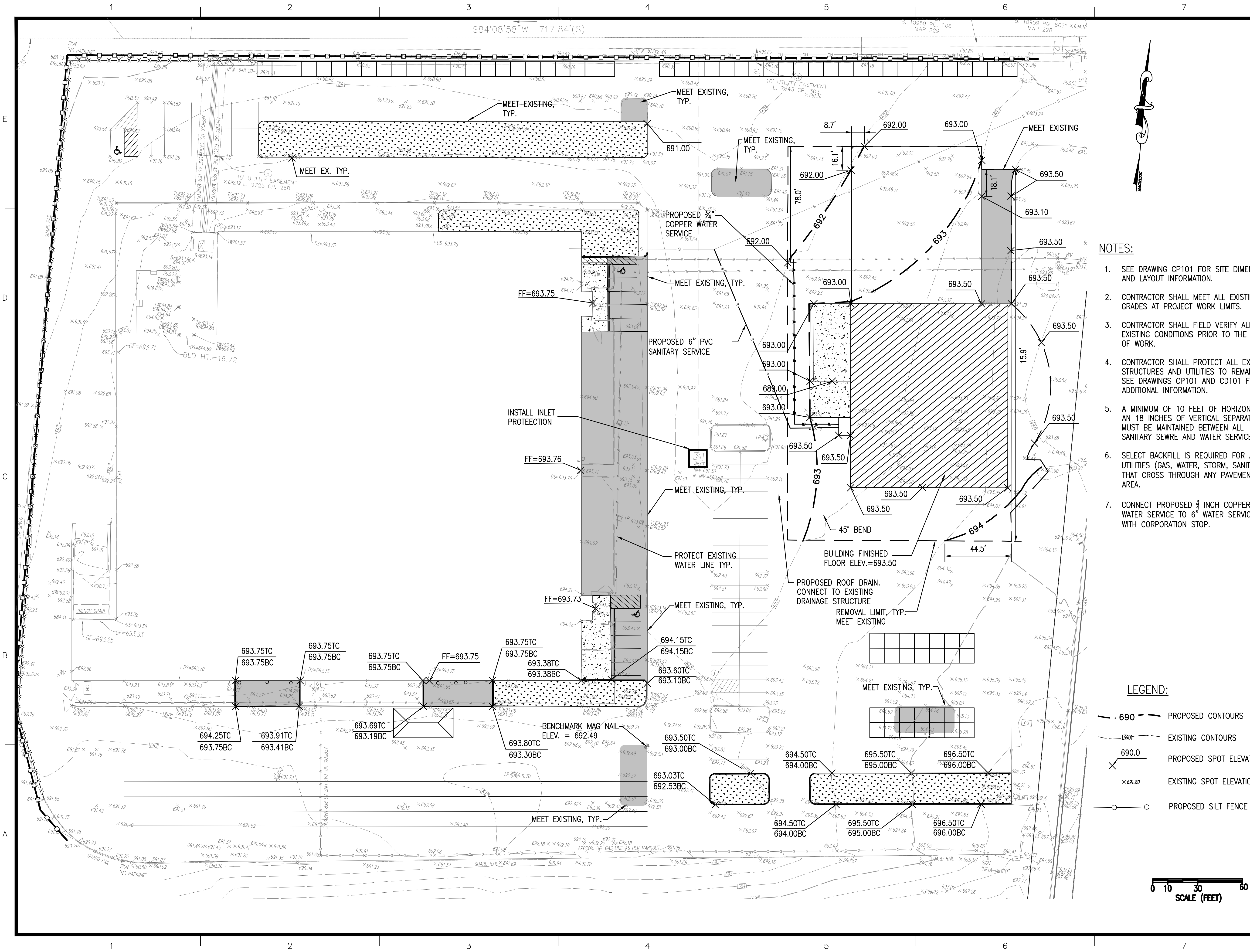
SITE PLAN

DRAWING#
CP101

SHEET# 3 OF 7

GENERAL NOTES:

- CONTRACTOR SHALL INSTALL PROPER EROSION CONTROL MEASURES PRIOR TO DISTURBING THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR ALL WORK FROM THE APPROPRIATE TOWN, COUNTY, STATE, OR FEDERAL AGENCY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- CONTRACTOR WILL PROVIDE TOWN REPRESENTATIVES AND ENGINEERING FIRM INSPECTORS FREE ACCESS TO ALL PARTS OF THE SITE FOR PROPER INSPECTION.
- CONTRACTOR SHALL INSTALL NEW BOLLARDS AT ALL OVERHEAD DOORS.
- REFER TO CU101 DRAWINGS FOR UTILITY AND GRADING INFORMATION.
- SEE DRAWING CP502 FOR PLANT LIST AND PLANTING DETAILS.



NOTES:

1. SEE DRAWING CP101 FOR SITE DIMENSIONS AND LAYOUT INFORMATION.
2. CONTRACTOR SHALL MEET ALL EXISTING GRADES AT PROJECT WORK LIMITS.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF WORK.
4. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND UTILITIES TO REMAIN. SEE DRAWINGS CP101 AND CD101 FOR ADDITIONAL INFORMATION.
5. A MINIMUM OF 10 FEET OF HORIZONTAL AN 18 INCHES OF VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN ALL SANITARY SEWRE AND WATER SERVICES.
6. SELECT BACKFILL IS REQUIRED FOR ALL UTILITIES (GAS, WATER, STORM, SANITARY) THAT CROSS THROUGH ANY PAVEMENT AREA.
7. CONNECT PROPOSED 3/4 INCH COPPER WATER SERVICE TO 6" WATER SERVICE WITH CORPORATION STOP.

LEGEND:

- 690 - PROPOSED CONTOURS
- 690.0 - PROPOSED SPOT ELEVATION
- 691.80 - EXISTING SPOT ELEVATION
- PROPOSED SILT FENCE

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SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

AMERCO
REAL ESTATE COMPANY

U-HAUL OF WEST SENECA
2970 TRANSIT ROAD
WEST SENECA, NY 14224

MARK	DATE	DESCRIPTION
1	6/24/22	SITE PLAN REVIEW

ISSUE:

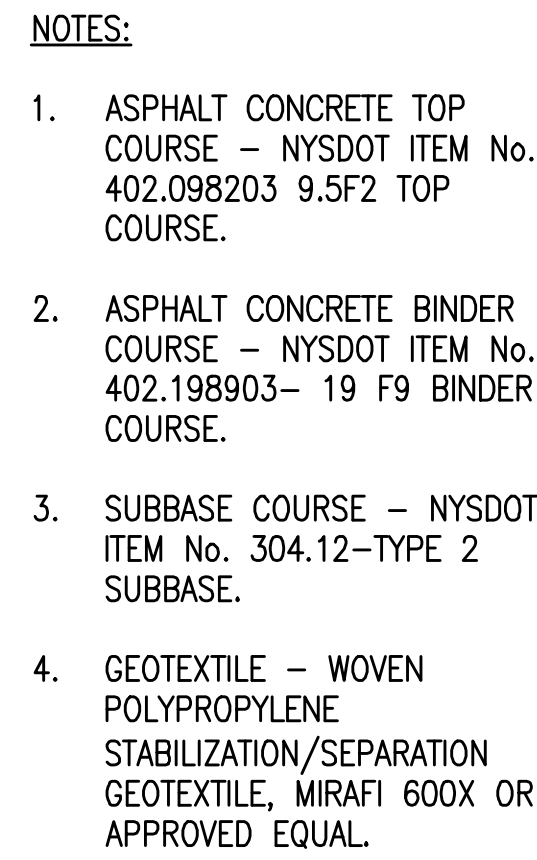
PROJECT NO:	XXXX
DESIGNER PROJECT NO:	22-3280
CAD DWG FILE:	CU101.DWG
DRAWN BY:	KLH
CHECKED BY:	CHG
SCALE:	AS NOTED
COPYRIGHT:	

SHEET TITLE

UTILITY AND GRADING PLAN

DRAWING#
CU101

SHEET#
5 OF 7



A cross-sectional diagram of a sidewalk structure. The top layer is concrete, with a vertical arrow labeled 'DEPTH TYP.' indicating its thickness. Inside the concrete, there are three 'X' marks representing welded wire mesh. Below the concrete is a layer of subbase stone, depicted with irregular shapes. Below the stone is a stabilization/separation subgrade, shown as a horizontal line. Arrows point from the text labels to their respective layers in the diagram.

DEPTH TYP.

4,000 PSI NYSDOT CONCRETE, 4"

WELDED WIRE MESH
6"x6" W2.9xW2.9

SUBBASE STONE, MIN. 4"

STABILIZATION/SEPARATION
TEXTILE ON COMPACTED
SUBGRADE

TYPICAL CONCRETE SIDEWALK SECTION

NOT TO SCALE

Technical drawing of a bollard with the following dimensions and labels:

- SCH. 40 STEEL PIPE 6" DIAMETER PAINTED YELLOW**: Points to the top section of the bollard.
- FILL WITH CONCRETE AND ROUND TOP**: Points to the top section of the bollard.
- ENSURE BOLLARD IS PLUMB USING LEVEL**: Points to the side of the bollard.
- FINISHED GRADE**: Points to the ground level line.
- CONCRETE FOUNDATION**: Points to the base of the bollard.
- Dimensions**:
 - Top section height: 48"
 - Bottom section height: 42"
 - Foundation height: 6"
 - Foundation width: 18"

ELEVATION

6'-0" (Total height)
 4'-0" (Height to top rail)
 6" (Bottom rail height)
 1'-6.5" (Height between top and middle rails)
 1'-6.5" (Height between middle and bottom rails)
 1'-6.5" (Height between bottom rail and ground level)

2"x4" TOP, MIDDLE(2) AND BOTTOM RAILS, TYP.

6"x6" TREATED RED PINE WOOD SET PLUMB

TREATED RED PINE BOARDS
 1"x6" BOARDS AT 6" O.C. ALTERNATE SIDES, TYP.

APPROX. FINISHED GRADE

AUGER 12" DIA. HOLE-FILL
 BOTTOM 6" W/ CRUSHED STONE.
 ADD 1 BAG OF SAKRETE AT EACH POST. SLOPE TOP FOR WATER RUNOFF.

6"

10"

#6 REBAR
DRIVEN FLUSH

7/8" HOLE - 2
REQUIRED

CONCRETE
WHEEL STOP

6'-0"

4" BLUE STRIPES
(TYP.) (2 COATS)

2'-0"

9'-0"
(TYP.)

19'-0" (TYP.)

45°

TYPICAL HANDICAP
PAVEMENT MARKING SEE
DETAIL THIS SHEET

Technical drawing of a wheelchair with the following dimensions and notes:

- Overall height: 2'-0"
- Seat height: 8"
- Backrest height: 3"
- Seat depth: 2"
- Wheel diameter: 20"
- Wheel width: 7"
- Front castor wheel diameter: 6"
- Front castor wheel width: 4"
- Front castor wheel offset: 1.5" TYP.
- Blue reflective pavement marking: 2" (width of the marking)
- Blue reflective pavement marking: 5" (height of the marking)

- 4" BLUE STRIPES (TYP. ALL HANDICAP PARKING STALLS) (2 COATS)

Diagram illustrating the layout of a stall, showing dimensions and specifications:

- Stall width: 9'-0" (TYP.)
- Stall length: 19'-0" (TYP.)
- Specification: 4" YELLOW STRIPES (TYP., ALL STALLS (2 COATS))

EDGE OF PARKING LOT

4.5'

4.5'

9.0' (TYP.)

9.0'

NO PARKING ZONE
(NPZ) STRIPING DETAIL
NOT TO SCALE

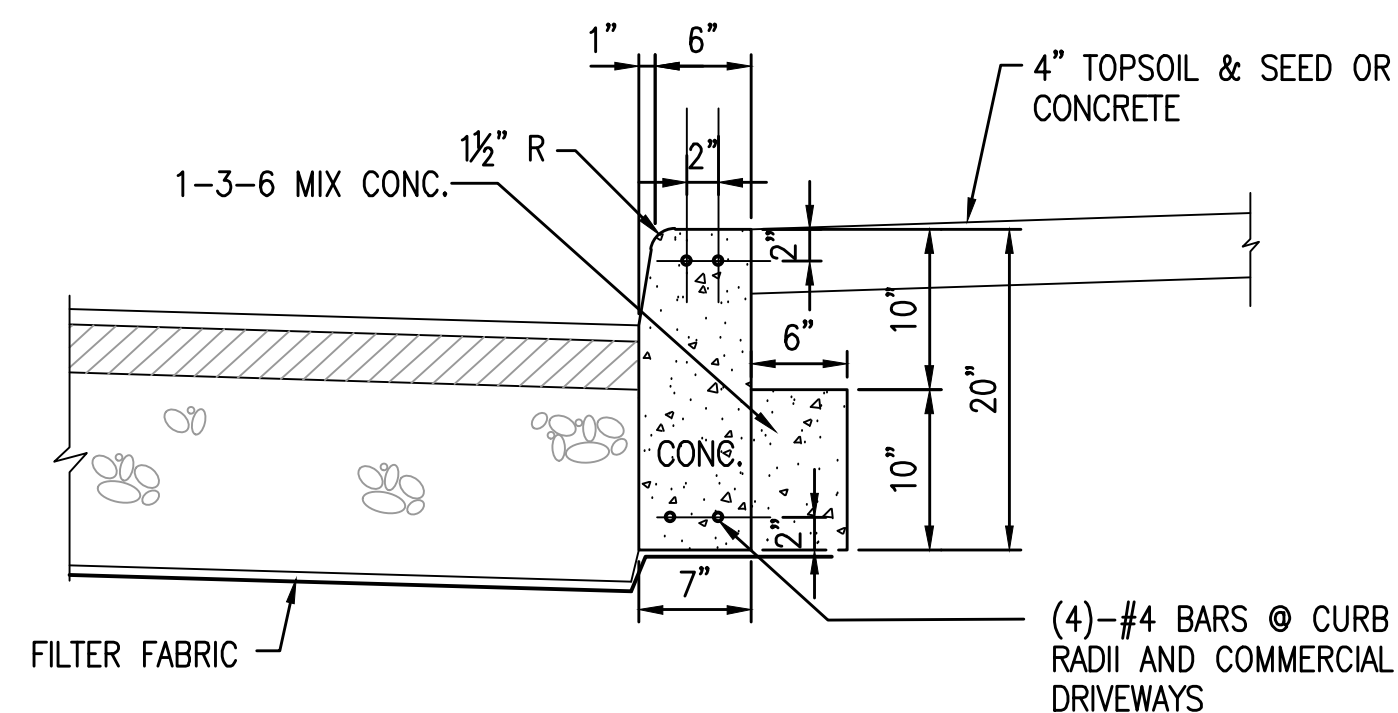


Diagram illustrating the components of a sign bracket assembly, showing the exploded view of the parts:

- .080 ALUMINUM ALLOY 6061-T6
- SIGN FACE
- $\frac{1}{4}$ " ID- $\frac{3}{4}$ " OD x .060 NYLON FLAT WASHER
- $\frac{1}{4}$ "-20 x $1\frac{1}{2}$ " STAINLESS STEEL HEX CAP BOLT*
- $\frac{1}{4}$ " STAINLESS STEEL FLAT WASHER
- $\frac{1}{4}$ " STAINLESS STEEL FLAT WASHER
- $\frac{1}{4}$ " STAINLESS STEEL SPLIT LOCK WASHER
- $\frac{1}{4}$ "-20 STAINLESS STEEL NYLON INSERT LOCK NUT
- STAINLESS STEEL 1-BOLT FLARE LEG SIGN BRACKET
- $1\frac{3}{8}$ " x $1\frac{1}{4}$ " x $\frac{3}{16}$ " EXTRUDED ALUMINUM Z-BAR
- $\frac{5}{16}$ "-18 x $\frac{3}{4}$ " STAINLESS STEEL HEX CAP BOLT WITH NYLON INSERT LOCKING PLUG*
- $\frac{5}{16}$ " STAINLESS STEEL FLAT WASHER
- $\frac{5}{16}$ " STAINLESS STEEL SPLIT LOCK WASHER



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SITE PLAN APPROVAL
NOT FOR
CONSTRUCTION

U-HAUL OF WEST SENECA
2970 TRANSIT ROAD
WEST SENECA, NY 14224

△		
1	6/24/22	SITE PLAN REVIEW
MARK	DATE	DESCRIPTION

ISSUE:	
PROJECT NO:	XXXX
DESIGNER PROJECT NO:	22-3280
CAD DWG FILE:	CP501.DWG
DRAWN BY:	KLH
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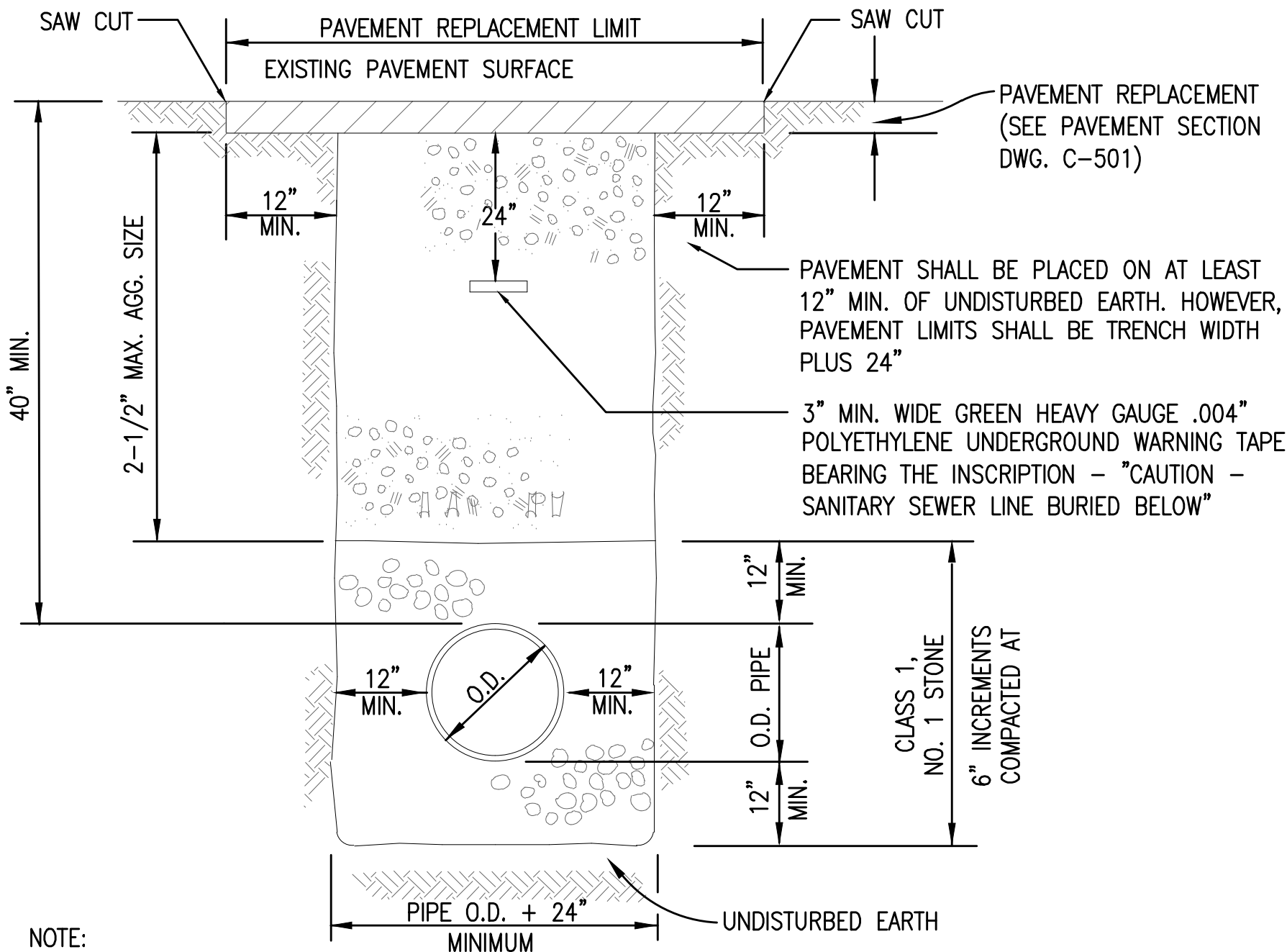
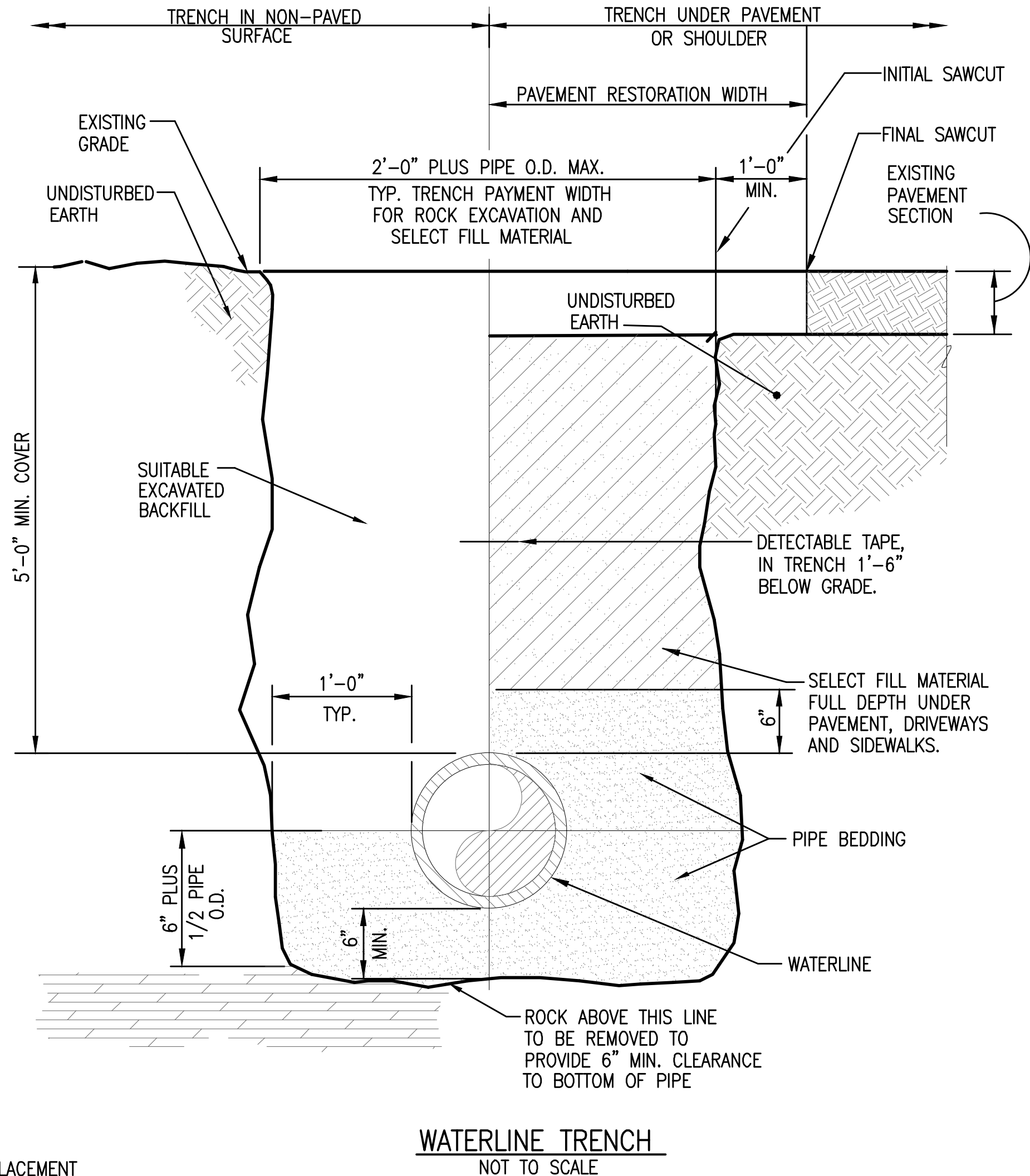
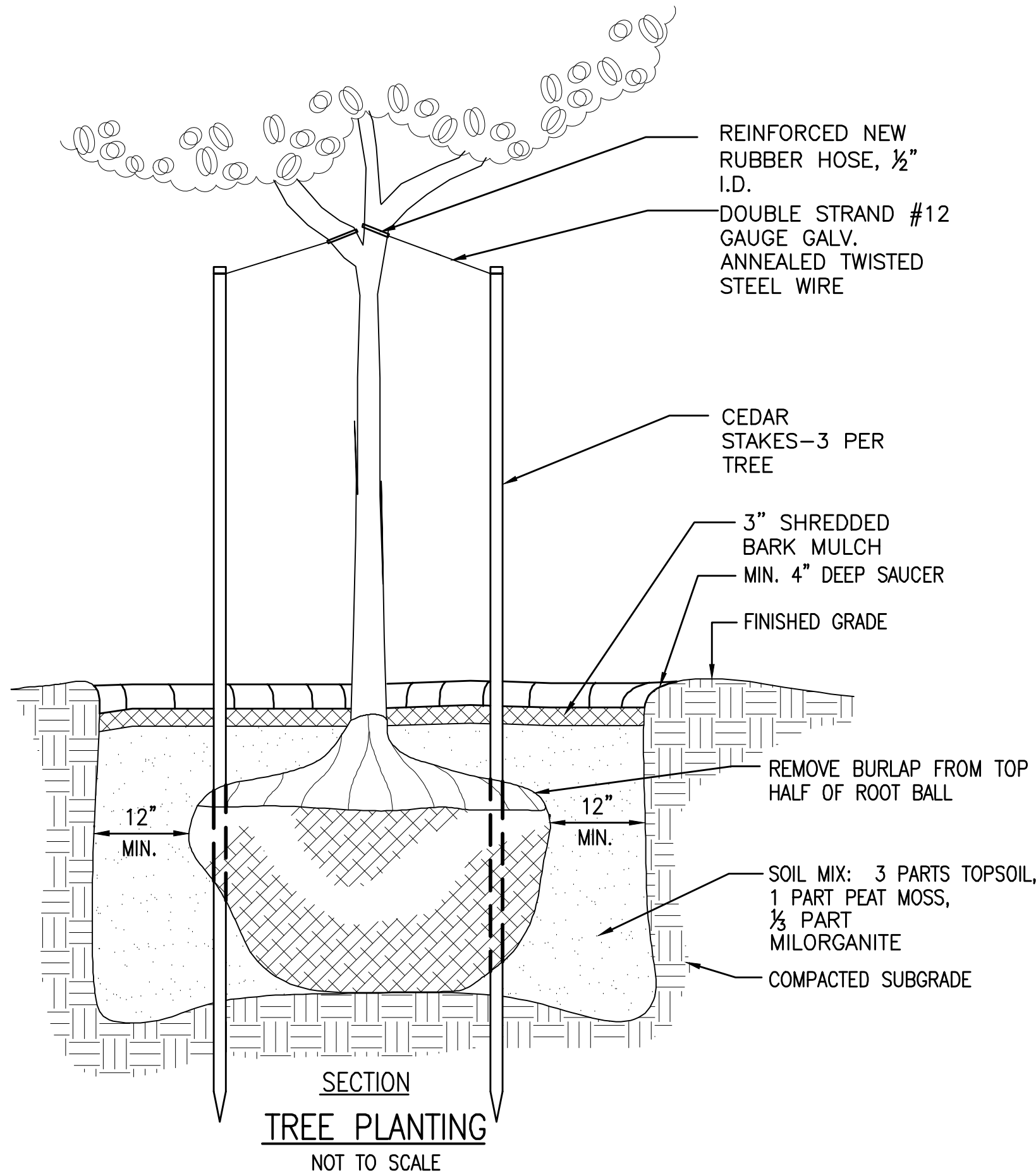
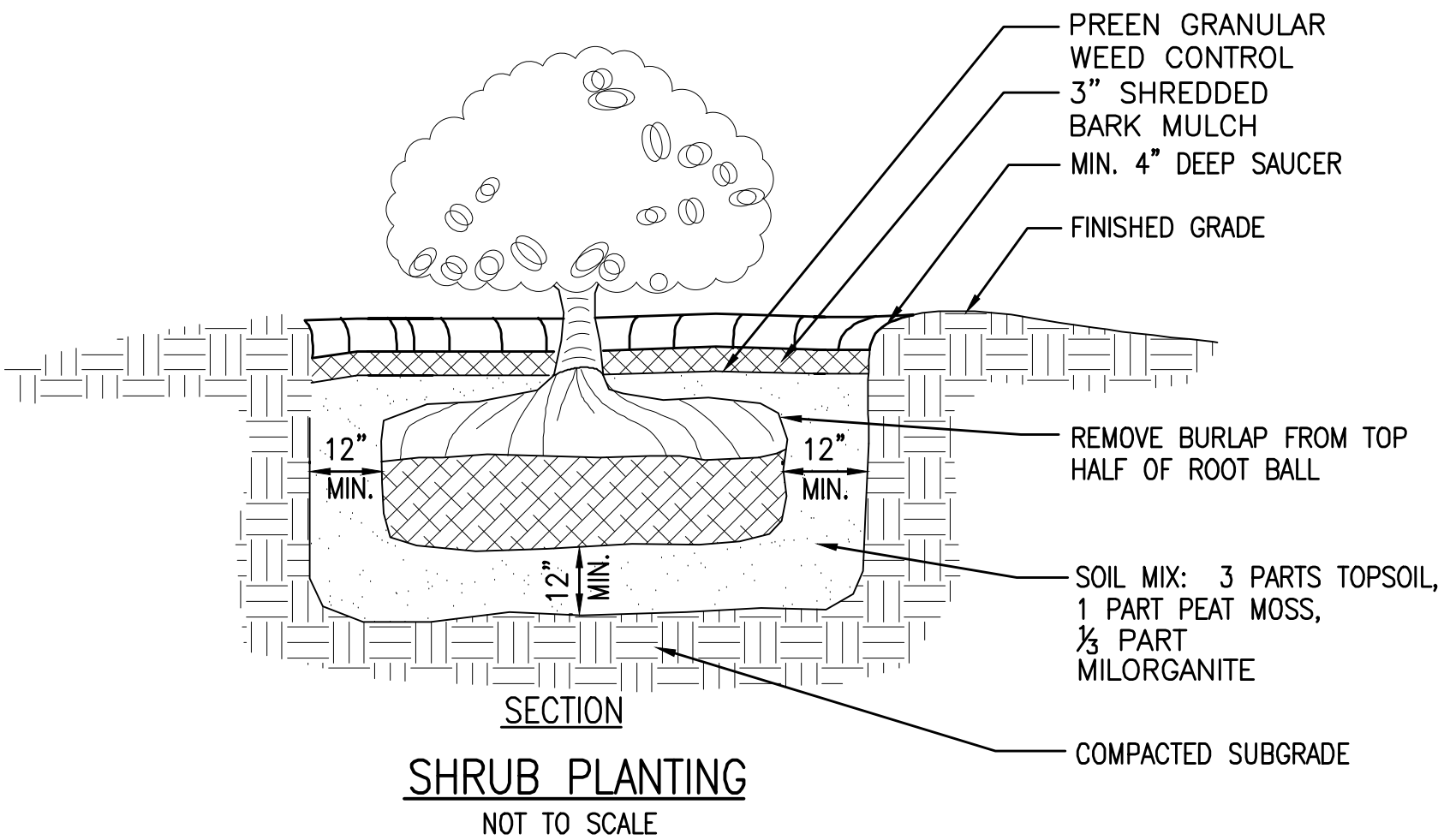
SITE DETAILS

CP501

SHEET# 6 OF 7

LANDSCAPING NOTES

1. ALL PLANTING BEDS AND TREES SHALL BE MULCHED WITH 3" OF CEDAR MULCH.
2. SEE SECTIONS BELOW FOR TREE AND SHRUB INSTALLATION DETAILS.
3. PROTECT TREES TO REMAIN. SEE DETAIL ON DRAWING MD-3.
4. TREES LOCATED IN PLANTING AISLE BENEATH POWER LINES SHALL BE 10'-0" IN HEIGHT @ TIME OF PLANTING AT INTERVAL NO GREATER THAN 20'.



NOTE:
WHERE THE CONTRACTOR EXCAVATES BEYOND THE LIMITS SHOWN; SELECT FILL AND PAVEMENT, SIDEWALK & DRIVEWAY REPLACEMENT OUTSIDE THE LIMITS SHALL BE FURNISHED AND PLACED AT THE CONTRACTOR'S EXPENSE. (TYP.)

IF CONCRETE ENCASEMENT IS REQUIRED, IT SHALL BE INSTALLED IN PLACE OF (AND TO THE DIMENSIONS OF) THE PIPE BEDDING AND COVER TO 12" MIN. ABOVE AND BELOW THE PIPE.

SITE PLAN APPROVAL
NOT FOR
CONSTRUCTION

AMERCO
REAL ESTATE COMPANY

U-HAUL OF WEST SENECA
2970 TRANSIT ROAD
WEST SENECA, NY 14224

△		
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ISSUE:		
PROJECT NO:		XXXX
DESIGNER PROJECT NO:		22-3280
CAD DWG FILE:		CP501.DWG
DRAWN BY:		KLH
CHECKED BY:		CHG
SCALE:		AS NOTED
COPYRIGHT:		

SHEET TITLE

MISCELLANEOUS DETAILS

DRAWING#

CP502

SHEET#

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